

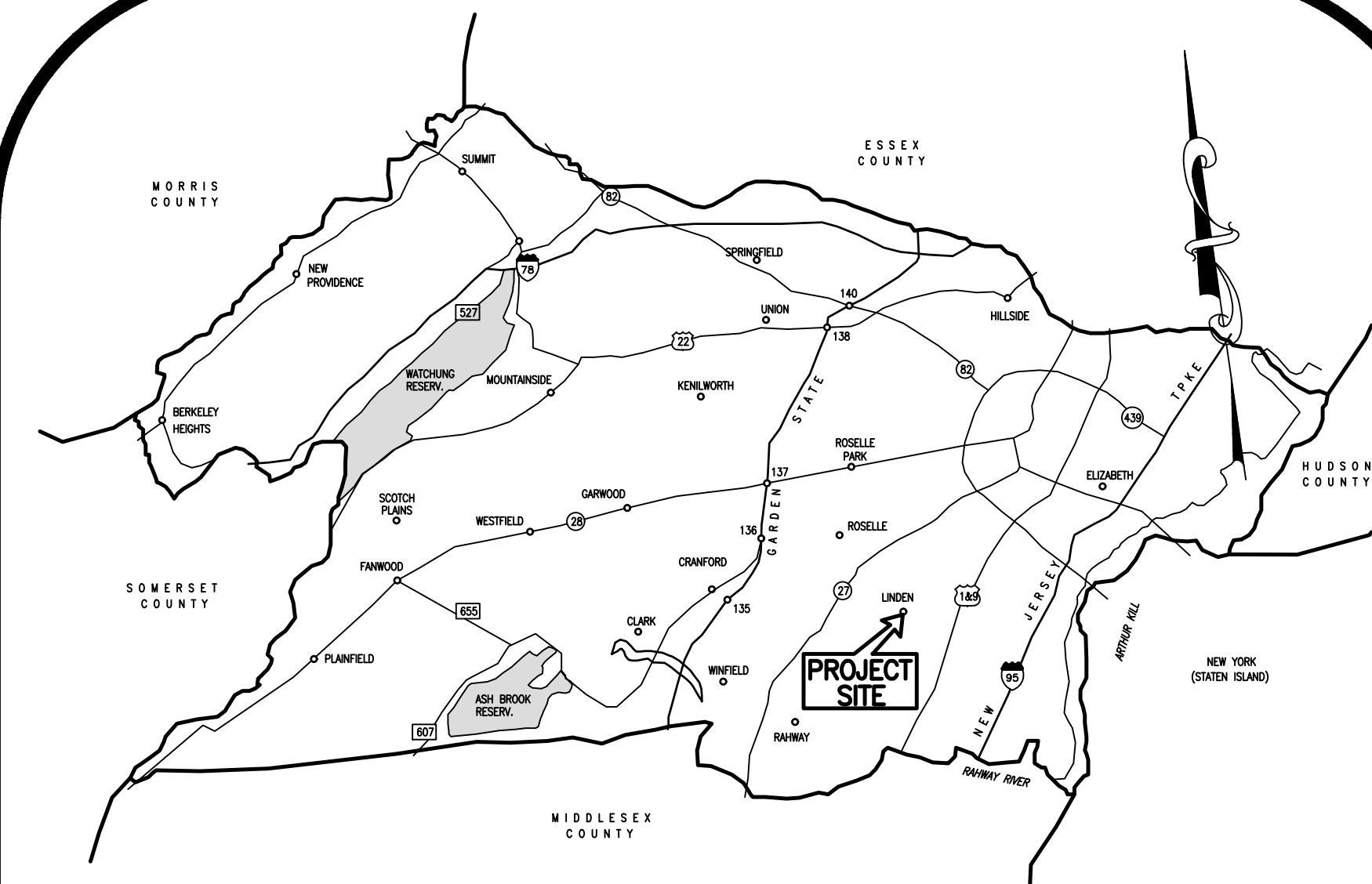
MINOR SUBDIVISION PLAN

No. 913 BERGEN AVENUE

LOTS 9 & 10, BLOCK 112

TAX MAP SHEET No. 69

CITY OF LINDEN UNION COUNTY NEW JERSEY



UNION COUNTY KEY MAP
N.T.S.

SHEET INDEX			
SHEET No.	DESCRIPTION	PREPARED	LAST REVISED
1	COVER SHEET	6/8/2020	
2	EXISTING CONDITIONS, DEMOLITION, LAYOUT & DIMENSIONING PLAN	6/8/2020	
3	GRADING, UTILITIES & CONSTRUCTION DETAILS PLAN	6/8/2020	
4	SOIL EROSION & SEDIMENT CONTROL PLAN	6/8/2020	

ARCHITECTURAL PLANS PREPARED BY: ANDREW PODBIEZNAK R.A.
11 HIGH POINT DRIVE
SPRINGFIELD, NJ 07081
TEL: 973-493-9476

MINOR SUBDIVISION

No. 913 BERGEN AVENUE
LOTS 9 & 10 BLOCK 112

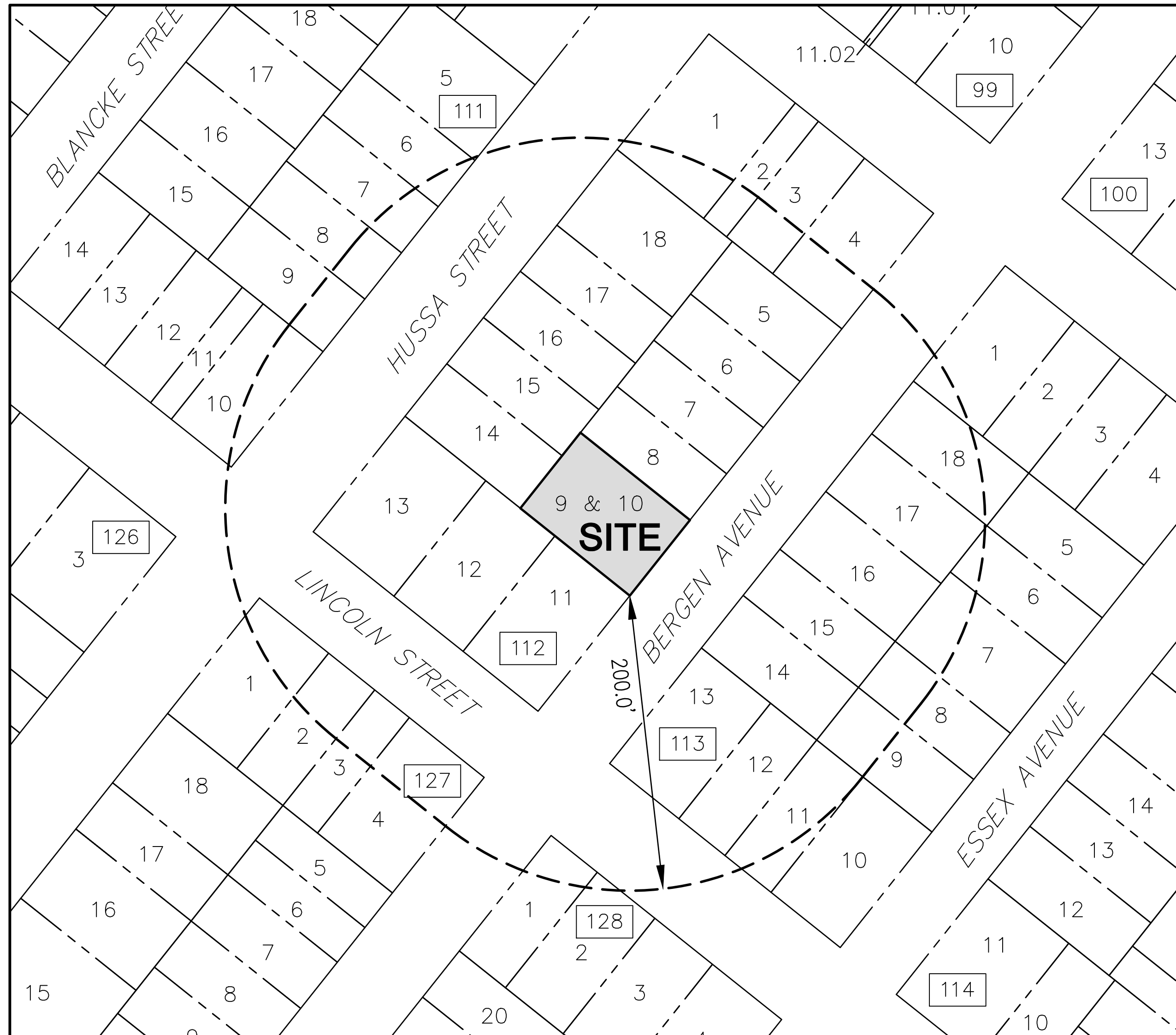
CITY OF LINDEN UNION COUNTY NEW JERSEY

COVER SHEET



VICTOR E. VINEGRA
PROFESSIONAL ENGINEER & LAND SURVEYOR
NEW JERSEY LICENSE No. 34460
PROJECT No. 2020066

200 FT ADJOINING OWNERS LIST		
BLOCK/LOT	PROPERTY LOCATION	PROPERTY OWNER & MAIL ADDRESS
111 5	929 HUSSA STREET	OLIVER, ALLAN R & SHIRLEY 929 HUSSA ST Linden, NJ 07036
111 6	925 HUSSA STREET	MCUFFIE, ELIJAH JR 925 HUSSA ST Linden, NJ 07036
111 7	917 HUSSA STREET	TONGE, MARCIA - BROWN, CLEOPATRA 917 HUSSA ST Linden, NJ 07036
111 8	915 HUSSA STREET	MOORE, TASHA H 915 HUSSA ST Linden, NJ 07036
111 9	911 HUSSA STREET	YOUNG, RONALD & CHERYL - IRMA L/E 911 HUSSA ST Linden, NJ 07036
111 10	402 LINCOLN STREET	BUZZELL, MARY 402 LINCOLN ST Linden, NJ 07036
112 1	315 CARNEGIE STREET	BROGGS, WILLIAM J 315 CARNEGIE ST Linden, NJ 07036
112 2	311 CARNEGIE STREET	PARHAM, VANESSA L-HAMILTON, JANICE S 3841 LENAWEE AVE Culver City, CA 90232
112 3	307 CARNEGIE STREET	PARHAM, VANESSA L-HAMILTON, JANICE S 3841 LENAWEE AVE Culver City, CA 90232
112 4	301 CARNEGIE STREET	MONTGOMERY, GAD 301 CARNEGIE ST Linden, NJ 07036
112 5	929 BERGEN AVENUE	SIGLER, JOSE R & NAYDA 929 BERGEN AVE Linden, NJ 07036
112 6	927 BERGEN AVENUE	ARVELO, MARIA 927 BERGEN AVE Linden, NJ 07036
112 7	923 BERGEN AVENUE	MC BRIDE, KIMBERLEA T 923 BERGEN AVE Linden, NJ 07036
112 8	917 BERGEN AVENUE	ANDRADA, GUILLERMO - LOPEZ, AUCIA 917 BERGEN AVE Linden, NJ 07036
112 11	300 LINCOLN STREET	LOPEZ, AGUSTIN JR 300 LINCOLN ST Linden, NJ 07036
112 12	310 LINCOLN STREET	ROBERTS, JOHN E 310 LINCOLN ST Linden, NJ 07036
112 13	314 LINCOLN STREET	GREENWICH STRUCTURES LLC 20 W MANSELL AVE Linden, NJ 07036
112 14	910 HUSSA STREET	PRICE, CHARLES & CLARA 910 HUSSA ST Linden, NJ 07036
112 15	914 HUSSA STREET	FANES, MONIQUE T 914 HUSSA ST Linden, NJ 07036
112 16	918 HUSSA STREET	CHRINO, JOHNNY - SALAZAR, HYVIS 918 HUSSA ST Linden, NJ 07036
112 17	924 HUSSA STREET	MACK, ETHEL 924 HUSSA ST Linden, NJ 07036



PROJECT AREA MAP
1"=60'±

200 FT ADJOINING OWNERS LIST		
BLOCK/LOT	PROPERTY LOCATION	PROPERTY OWNER & MAIL ADDRESS
112 18	928 HUSSA STREET	STROTHER, MILDRED 1415 SPANISH GROVE RD Chase City, VA 23924
113 1	217 CARNEGIE STREET	JONES, EMMA J 217 CARNEGIE ST Linden, NJ 07036
113 6	925 ESSEX AVENUE	JODELSI, LLC 18 LINCOLN ST Tenafly, NJ 07670
113 7	921 ESSEX AVENUE	BROWN, RASHANA 921 ESSEX AVE Linden, NJ 07036
113 8	915 ESSEX AVENUE	PODESZWA, EDWARD R & IRENE P 915 ESSEX AVE Linden, NJ 07036
113 9	911 ESSEX AVENUE	DE PASCALE, HARRY N & LINDA J 911 ESSEX AVE Linden, NJ 07036
113 11	206 LINCOLN STREET	JORGE, CARLOS - PUJOLS, OROUIDA 206 LINCOLN ST Linden, NJ 07036
113 12	212 LINCOLN STREET	WILLIS, PAUL A & BARBARA J 212 LINCOLN ST Linden, NJ 07036
113 13	214 LINCOLN STREET	MUNEZ, RICHARD & TRACY Y 214 LINCOLN ST Linden, NJ 07036
113 14	912 BERGEN AVENUE	KOZAR, DENNIS & DUSAN 912 BERGEN AVE Linden, NJ 07036
113 15	914 BERGEN AVENUE	HAZEL, HAROLD & JACQUELINE 914 BERGEN AVE Linden, NJ 07036
113 16	920 BERGEN AVENUE	WORTHY, GRZA & KAREN 920 BERGEN AVE Linden, NJ 07036
113 17	926 BERGEN AVENUE	PAYLOR, RALPH C SR & RENEE 926 BERGEN AVE Linden, NJ 07036
113 18	930 BERGEN AVENUE	APOLON, MANES & ANITA 930 BERGEN AVE Linden, NJ 07036
127 1	315 LINCOLN STREET	PERON, JAMES JR & EVA 315 LINCOLN ST Linden, NJ 07036
127 2	309 LINCOLN STREET	CORRIGAN, MICHAEL & SYLVIA 309 LINCOLN ST Linden, NJ 07036
127 3	307 LINCOLN STREET	BETAR REALTY INC 307 LINCOLN ST Linden, NJ 07036
127 4	835 BERGEN AVENUE	EASON, CHARLES C & TRACY JACKSON 835 BERGEN AVE Linden, NJ 07036
128 1	219 LINCOLN STREET	LORENZO, C - LORENZO-MUNIZ, L 219 LINCOLN ST Linden, NJ 07036
128 2	213 LINCOLN STREET	GILES, JOHN R & SALLIE L 213 LINCOLN ST Linden, NJ 07036

CERTIFICATION OF APPROVAL

APPROVED BY THE PLANNING BOARD
CITY OF LINDEN

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

APPLICANT/OWNER
KW HOME KREATIONS LLC
17 ORCHARD PLACE
CEDAR KNOLLS, N.J. 07927

PREPARED JUNE 2020

FOR

KW HOME KREATIONS LLC

17 ORCHARD PLACE
CEDAR KNOLLS, N.J. 07927

UTILITY COMPANIES

MICHAEL F. STONACK, MANAGER ENGINEERING DESIGN
ONE ELIZABETHTOWN PLAZA, 3rd FLOOR EAST
UNION, NJ 07083

DONNA SHORT, GIS SUPERVISOR
NEW JERSEY AMERICAN WATER COMPANY, Inc
1025 LAUREL OAK ROAD
VOORHEES, NJ 08043

ELIZABETHTOWN GAS COMPANY
ATTN: GREG BALANT
520 GREEN LANE
UNION, NJ 07083

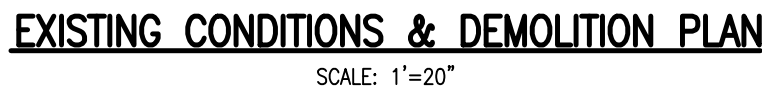
VERIZON c/o THOMAS GRABOWSKI
445 GEORGES ROAD
NORTH BRUNSWICK, NJ 08902

COMCAST CABLE
800 RAHWAY AVENUE
UNION, NJ 07083

SUN PIPE LINE COMPANY
RIGHT OF WAY DEPT. 26th FLOOR
1801 MARKET STREET
PHILADELPHIA, PA 19103-1699

SUNOCO PIPELINE L.P.
RIGHT OF WAY DEPT.
MONTELLO COMPLEX
525 FRITZTOWN ROAD
SINKING SPRING, PA 19068

PUBLIC SERVICES ELECTRIC & GAS COMPANY
MANAGER-CORPORATION PROPERTIES
80 PARK PLAZA 16B
NEWARK, NJ 07102



(1) - EXISTING CONDITION, CONFORMING PER ORD. 31-36.6 NONCONFORMING LOTS IN A RESIDENTIAL ZONE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPC	COMMENTS
Shade Trees							
AC	2	Amelanchier canadensis	Shadblow serviceberry	2"- 2 1/2" cal, 13'-15" ht.	B&B		Symmetrical, leader intact
CC	2	Carpinus caroliniana 'Firespire'	Firespire American hornbeam	2"- 2 1/2" cal, 13'-15" ht.	B&B		Symmetrical, leader intact
Shrubs							
CAR	6	Clothes alnifolia 'RUBY Spice'	Pink summersweet	24-30"	#3 Can	36" O.C.	Well established, heavy, symmetrical
Perennials, Grasses, Groundcovers and Vines							
CA	20	Carex amphibola	Creek sedge		1 Qt	12" O.C.	Vigorous, well-established in containers
HV	10	Heuchera villosa 'Bronze Wave'	Bronze Wave coral bells		1 Qt	12" O.C.	Vigorous, well-established in containers

PARKING SCHEDULE

(R.S.I.S. TABLE 4.4 PARKING REQUIREMENTS FOR RESIDENTIAL LAND USES)

I CERTIFY THAT THIS PLAN IS THE RESULT OF A FIELD SURVEY MADE ON MAY 4, 2020, BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE "STATE BOARD OF PROFESSIONAL ENGINEERS & LAND SURVEYORS."

THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE
CONDITIONS FOUND AT, AND AS OF THE DATE OF THE FIELD SURVEY,
EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE
SURFACE AND NOT VISIBLE.

SUBJECT TO SUCH FACTS AS AN ACCURATE TITLE SEARCH MAY DISCLOSE

BEING KNOWN AS LOTS 491, 492 AND 493 IN BLOCK 14, ON A MAP ENTITLED "REALTY TRUST MAP No. 27 OF 4400 LOTS SITUATED AT LINDE UNION COUNTY, NJ, SURVEYED FEBRUARY 1, 1907 BY J.L. BAUER, CIVIL ENGINEER AND SURVEYOR, ELIZABETH, NJ" AND FILED IN THE UNION COUNTY CLERK'S OFFICE ON MARCH 30, 1907 AS MAP No. 70 A.

BEING MORE COMMONLY KNOWN AS No. 913 BERGEN AVENUE
CITY OF LINDEN, UNION COUNTY, NEW JERSEY.

1. REFERENCES WERE MADE TO DEED BOOK 4689, PAGE 119.

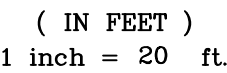
2. AT THE REQUEST OF THE OWNERS, PROPERTY CORNERS WERE NOT SET AT THIS TIME.

3. DIMENSIONS AS SHOWN ARE NOT INTENDED FOR THE CONSTRUCTION OF FENCES OR PERMANENT STRUCTURES.

4. OFFSETS SHOWN ARE MEASURED FROM THE FRAME OF THE STRUCTURE PERPENDICULAR TO THE PROPERTY LINE, UNLESS OTHERWISE NOTED.

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.

GRAPHIC SCALE



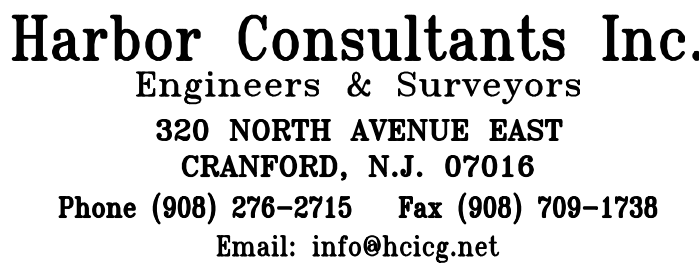
1. THE PREMISES SHOWN HEREON WERE SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS SUBJECT TO SUCH FACTS AS A CURRENT TITLE SEARCH MAY DISCLOSE. THE PROPERTY ALSO MAY BE SUBJECT TO THE FOLLOWING:

- A) RIGHTS OF CLAIMS OF PARTIES IN POSSESSION SHOWN BY THE PUBLIC RECORD.
- B) RIGHTS OF CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORD.
- C) EASEMENTS OR CLAIMS OF EASEMENTS, SHOWN BY THE PUBLIC RECORD.
- D) EASEMENTS OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORD.
3. NO DETERMINATIONS HAVE BEEN MADE REGARDING UNDERGROUND UTILITIES WHICH MAY EXIST, UNLESS AS SHOWN.
3. NO DETERMINATIONS HAVE BEEN MADE REGARDING HAZARDOUS MATERIAL CONDITIONS.
4. NO DETERMINATIONS HAVE BEEN MADE REGARDING WETLANDS LOCATION.
5. PROPERTY IS SITUATED IN FLOOD ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER A PLAN ENTITLED "THRM" FLOOD INSURANCE RATE MAP, FOR THE CITY OF LINDEN COMMUNITY/PANEL NO. 344647 0034 F, MAP NO. 3403900034F EFFECTIVE DATE SEPTEMBER 20th, 2001.
6. PLANIMETRIC FEATURES SHOWN HEREON HAVE BEEN DRAWN IN ACCORDANCE WITH FIELD SURVEY PERFORMED BY HARBOR CONSULTANTS, INC., MAY 4, 2020.
7. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING UTILITIES, MATERIALS AND TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ALIGNMENTS AS REQUIRED TO AVOID CONFLICTS.
8. TOPOGRAPHIC INFORMATION SHOWN HEREON HAVE BEEN DRAWN IN ACCORDANCE WITH FIELD SURVEY PERFORMED BY HARBOR CONSULTANTS, INC., MAY 4, 2020.

(PER "ANSI Z-60.1-2014 [OR LATEST EDITION])

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
 2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE LANDSCAPING PLANS.
 3. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEMAN OR EQUIVALENT.
 4. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED.
 5. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
 6. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND.
 7. WITH ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
 8. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN THREE VERTICAL LOCATIONS.
 9. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED IN THE FIELD. AT THAT TIME, THE LOCATIONS OF THE PLANTING BALL SHALL BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
 10. ALL PLANT MATERIAL SHALL BE TAGGED AT THE NURSERY, INDICATING BOTANICAL NAME, COMMON NAME, VARIETY AND SIZE. IT IS ASSUMED THAT ALL PLANT MATERIAL IS AVAILABLE IN NEW JERSEY.
 11. ALL SHADE TREES TO BE TREE FORM AND CLIP OF BRANCHES TO SEVEN FEET ABOVE GROUND.
 12. ALL PLANTS SHALL BE INSTALLED AS PER DETAILS.
 13. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
 14. TOPSOIL SHALL BE SANDY LOAM, FREE FROM SUBSOIL, STONES LARGER THAN ONE INCH, OR ANY UNDESIRABLE MATERIAL, CONTAIN 5% ORGANIC MATTER, pH 6-6.5. IT IS RECOMMENDED THAT A MINIMUM OF 6" OF TOP SOIL IS PROVIDED FOR ALL LAWN PLANT PERENNIALS AND GROUNDERCOVER IN 8" DEEP TOPSOIL BED CONSISTING OF 5% TOPSOIL, 5% HUMUS, PLANT BOLES IN NATURALIZED SPOTS.
 15. ALL PLANTS SHALL BE WATERED THOROUGHLY, TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
 16. ALL PLANTS AND THE ENTIRE SHRUB BED SHALL RECEIVE A MINIMUM OF A 2 INCH LAYER OF SHREDDED HARDWOOD BARK MULCH. MULCH ALL PINES TO WITHIN 3 INCHES OF BRANCH ENDS AND 10 MILL FABRIC EAVE TO "WEEDBLOCK".
 17. TREE STAKES AND GUY WIRES TO BE CHECKED AFTER THE FIRST YEAR ALONG WITH CONDITIONS OF PLANT MATERIAL. STAKES AND GUY WIRES SHALL BE REMOVED AFTER ONE YEAR PERIOD.
 18. TOPSOIL OR SEED ALL DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR STORAGE EQUIPMENT, WHETHER AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED.
 19. THE FOLLOWING SEED MIXTURES SHALL BE USED WITHIN THE AREAS SPECIFIED: SEED @ 30 LBS PER ACRE. OPTIMUM SEEDING DATES: FEB 15TH TO APRIL 1, AND JULY 15 TO OCT 15
- LAWN GRASS MIX:**
- 30% Onyx Turf-Type Tall Fescue
 - 30% Montauk Turf-Type Tall Fescue
 - 10% Santa Fe Turf-Type Tall Fescue
 - 30% Washington Kentucky Bluegrass
19. SHOULD DISCREPANCIES OCCUR BETWEEN THE QUANTITY OF PLANTINGS SHOWN ON THE PLANTING SCHEDULE AND THE PLANS, THE NUMBER AS SHOWN ON THE PLANS SHOULD BE HELD.
 20. ALL SHADE TREES MUST BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE EDGE OF ANY DRIVEWAY OR LIGHT POLE. NO TREES SHALL BE PLANTED CLOSER THAN TEN (10) FEET TO ANY UTILITY.
 21. APPLICANT WILL OBTAIN A 2-YEAR MAINTENANCE BOND FOR ALL PLANTS/TREES IN THE CITY OF LINDEN RICH OF WAY.

2







MINOR SUBDIVISION
EXISTING CONDITIONS, DEMOLITION, LAYOUT & DIMENSIONING PLAN
913 BERGEN AVENUE
LOTS 9 AND 10, BLOCK 112

CITY OF LINDEN	UNION COUNTY	NEW JERSEY
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VICTOR E. VINEGRA
PROFESSIONAL ENGINEER & LAND SURVEYOR
NEW JERSEY LICENSE No. 34460

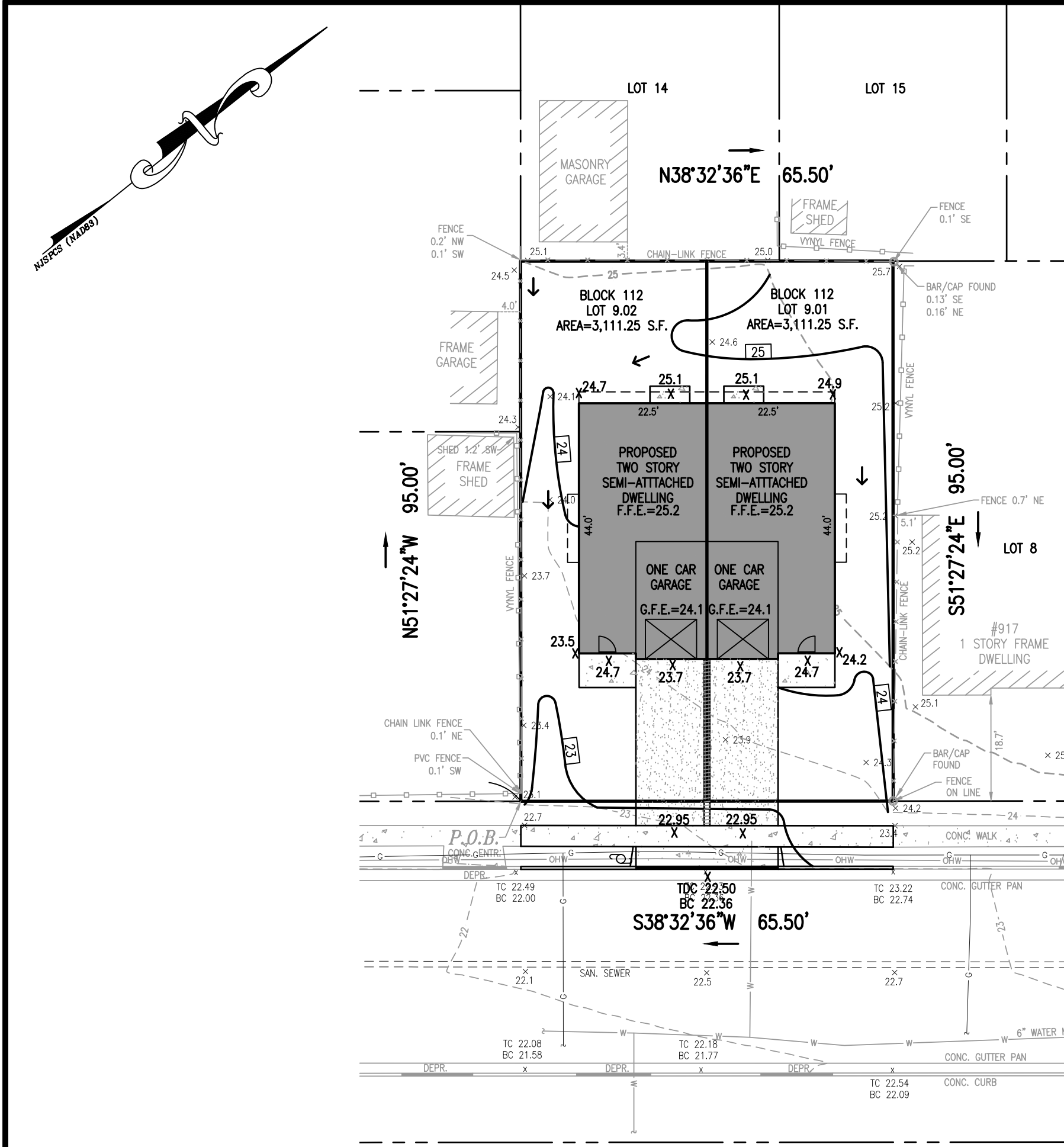
CERTIFICATE OF AUTHORIZATION No.	PROJECT No:
24GA27962100	2020066

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THE PURPOSE ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF HARBOR CONSULTANTS INC. IS PROHIBITED

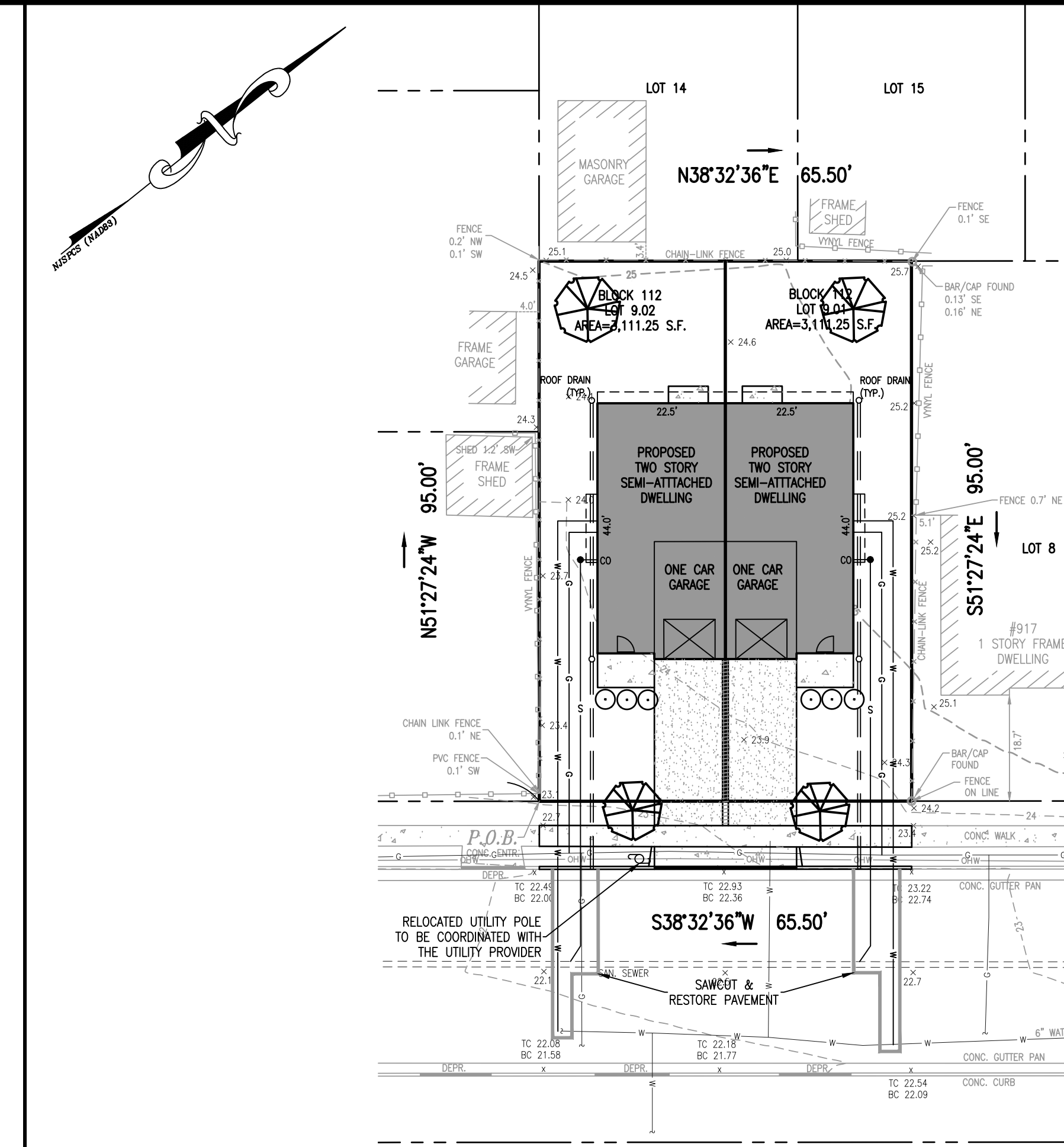
●	STREET SIGN	□	IRON BAR FOUND
●	CLEANOUT	○	MAILBOX
⊙	SANITARY MANHOLE		STREET TREE
Ⓢ	DRAINAGE MANHOLE	X 0.00	EXIST. SPOT ELEVATION
—	CATCH BASIN	— 10 —	EXISTING CONTOUR LINE
□	CATCH BASIN	— C —	GAS LINE
⊙	SOIL BORING	— W —	WATER LINE
⊙	GUY WIRE		GAS VALVE
⊙	UTILITY POLE		WATER VALVE
⊙	P.K. NAIL FOUND		FIRE HYDRANT
⊙	CORNER MONUMENT FOUND	☆	LIGHT POST

LEGEND

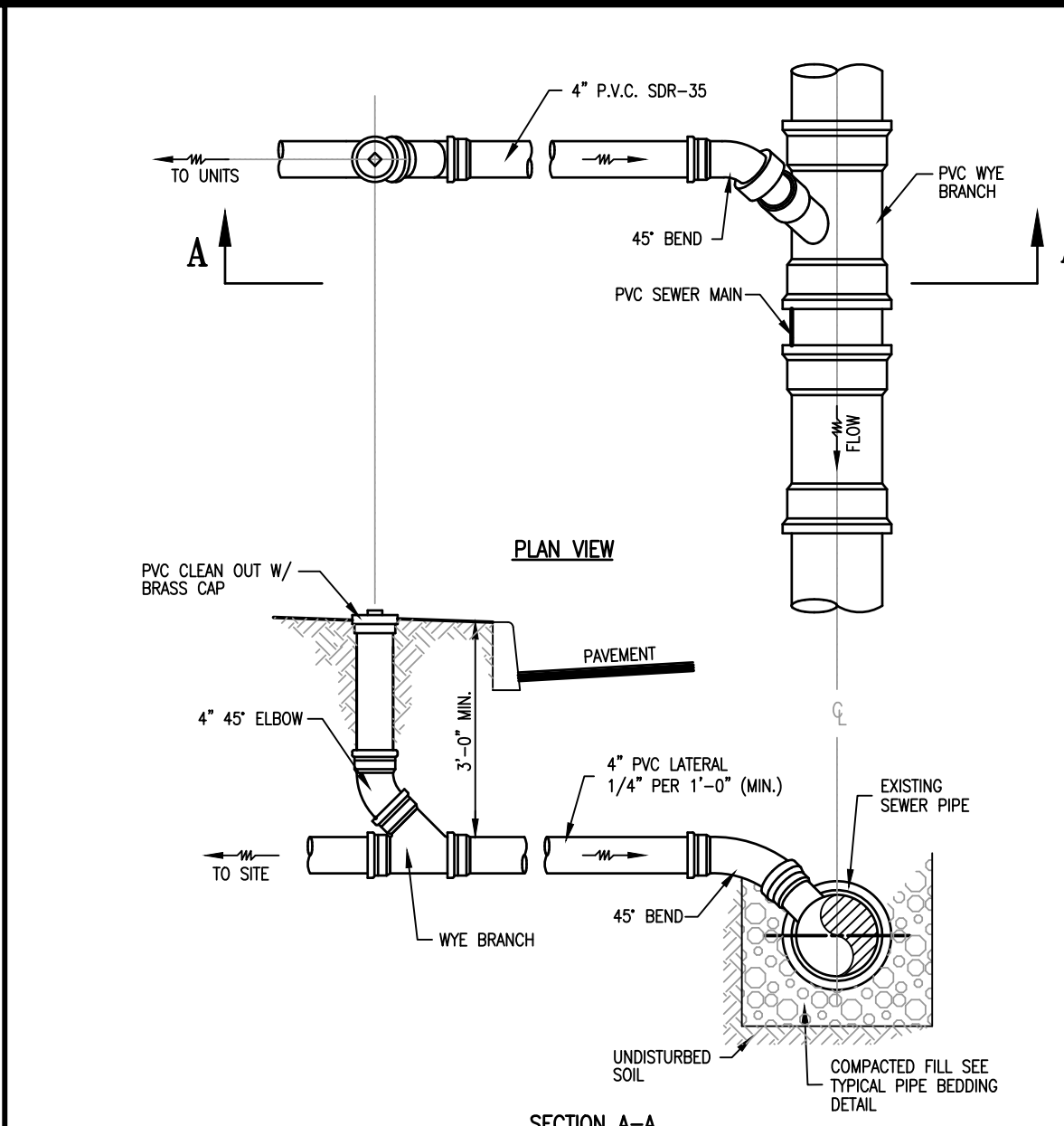
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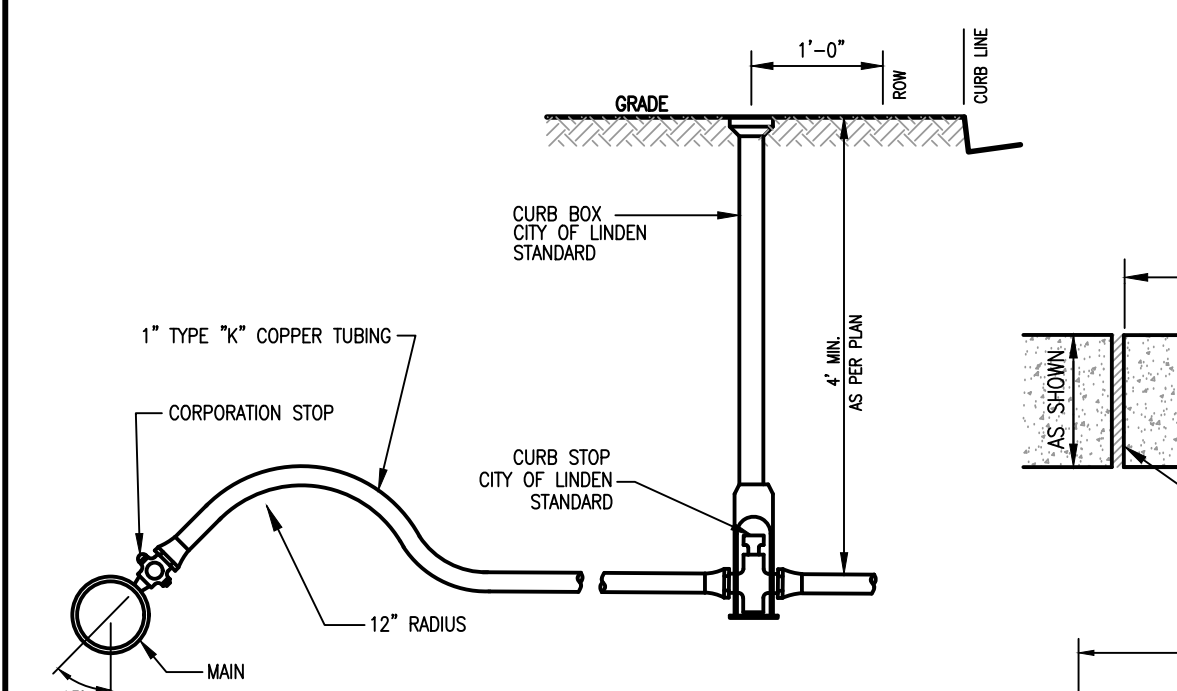
BERGEN AVENUE
(60' WIDE R.O.W.)



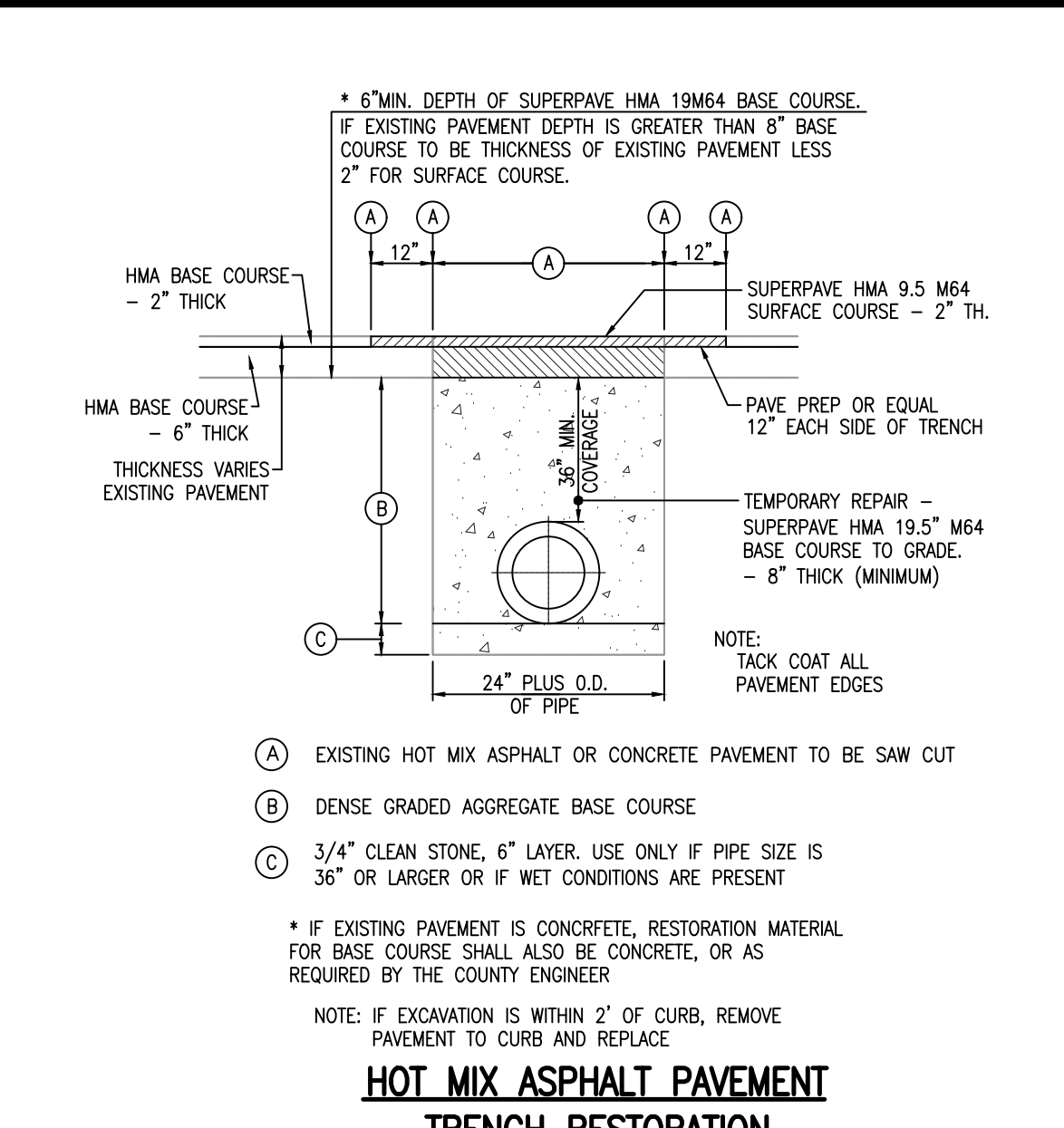
BERGEN AVENUE
(60' WIDE R.O.W.)



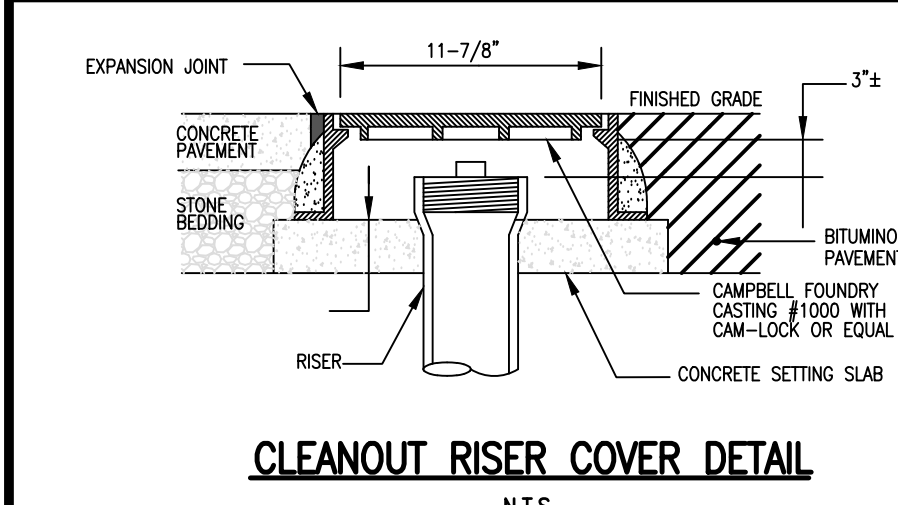
PVC SANITARY SEWER LATERAL AND CLEANOUT
N.T.S.



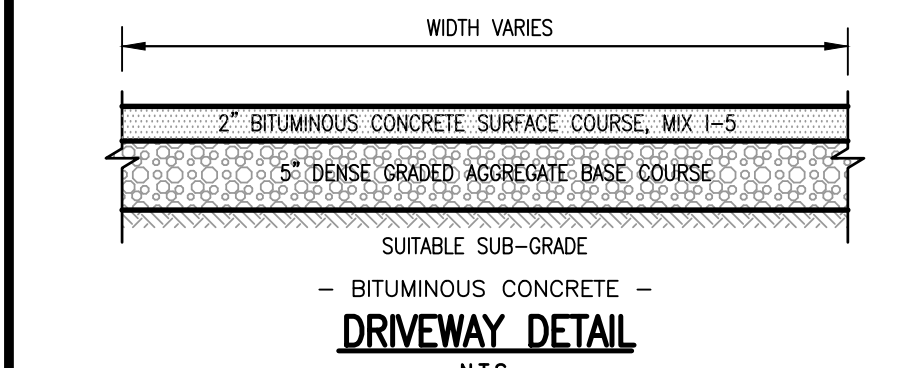
DOMESTIC WATER SERVICE CONNECTION
N.T.S.



HOT MIX ASPHALT PAVEMENT
TRENCH RESTORATION
N.T.S.



CLEANOUT RISER COVER DETAIL
N.T.S.



DRIVEWAY DETAIL
N.T.S.

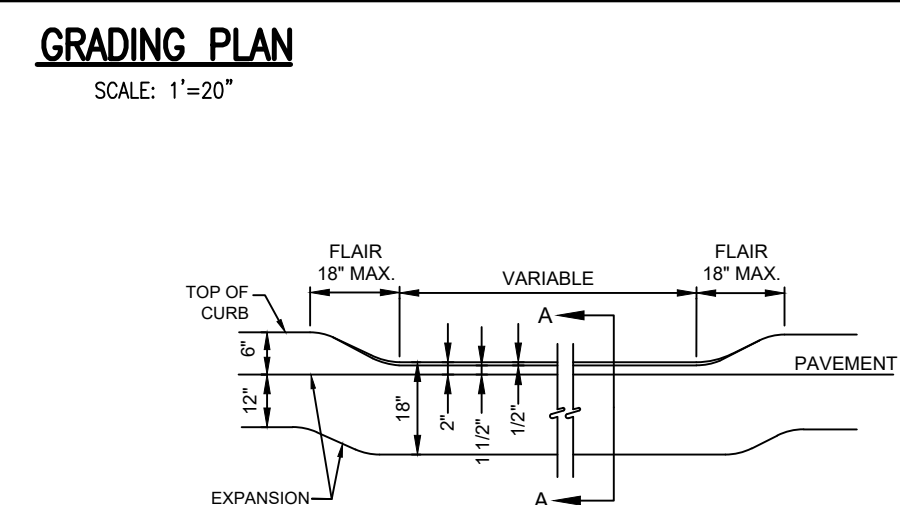
DIG SAFELY - NEW JERSEY

CALL BEFORE YOU DIG
1-800-272-1000
IT'S THE LAW

Dig Safely

NEW JERSEY ONE CALL
CONTRACTORS SHALL CALL 1-800-272-1000
MINIMUM THREE DAYS, MAXIMUM 10 DAYS NOTICE PRIOR TO
BEGINNING EXCAVATION

LEGEND	
	STREET SIGN
	CLEANOUT
	SANITARY MANHOLE
	DRAINAGE MANHOLE
	CATCH BASIN
	CATCH BASIN
	SOIL BORING
	GUY WIRE
	UTILITY POLE
	P.K. NAIL FOUND
	CONC. MONUMENT FOUND
	IRON BAR FOUND
	MAILBOX
	STREET TREE
	EXIST. SPOT ELEVATION
	EXISTING CONTOUR LINE
	GAS LINE
	WATER LINE
	GAS VALVE
	WATER VALVE
	FIRE HYDRANT
	LIGHT POST

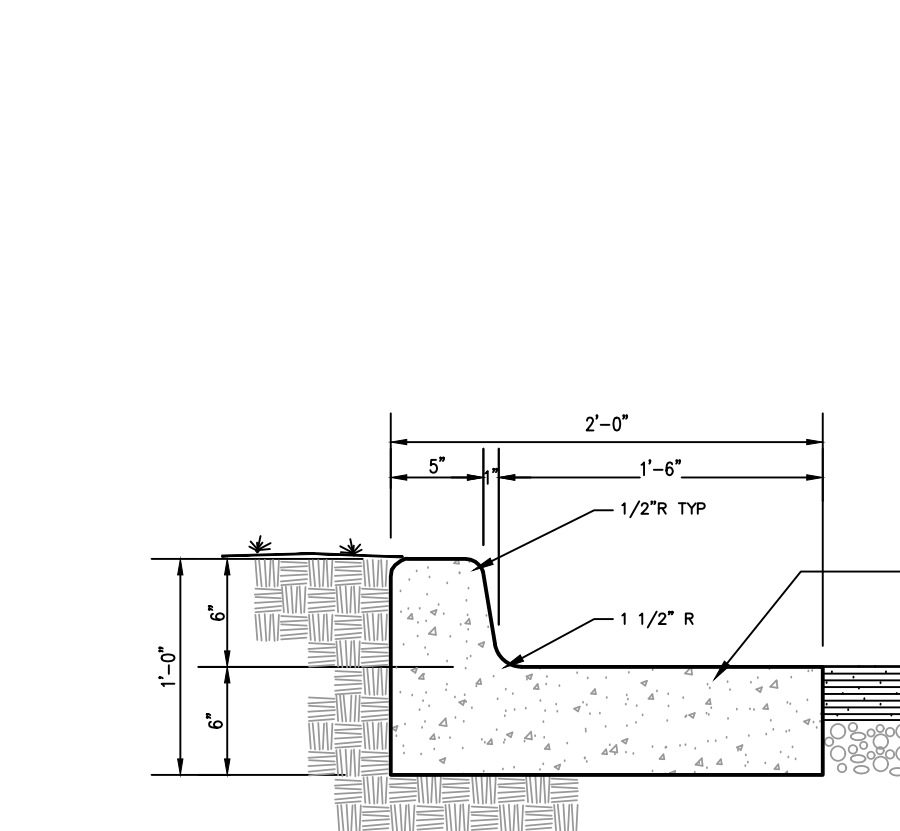


GRADING PLAN
SCALE: 1"=20'

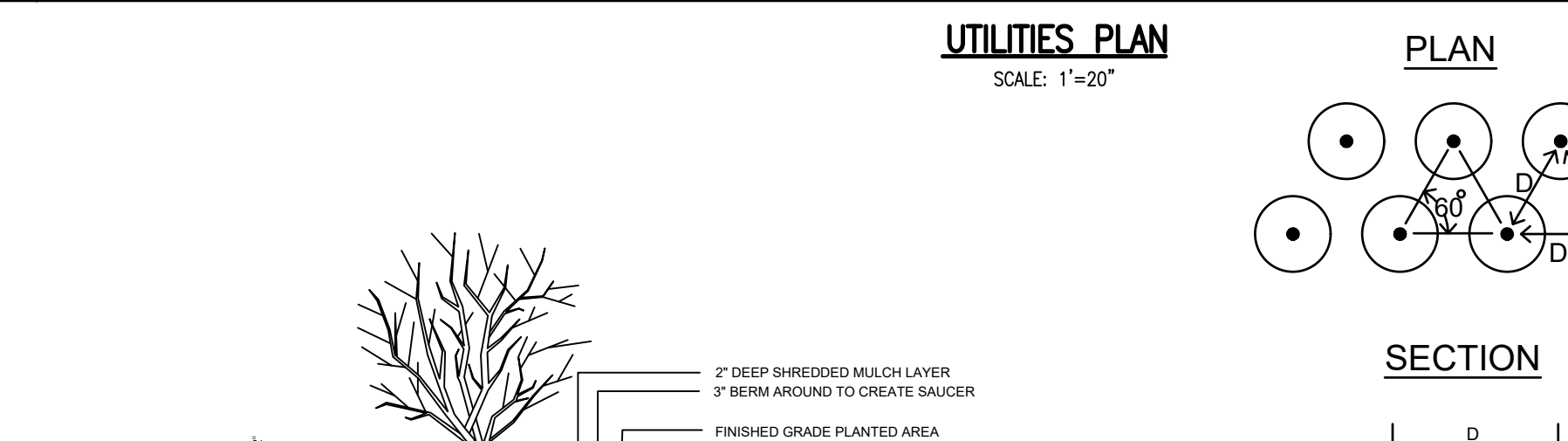
NOTES:

- ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH 3/4" CLEAN CRUSHED STONE. ALL SUBGRADES SHALL BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO POURING.
- EXPANSION JOINTS SHALL BE PROVIDED AT EQUAL INTERVALS OF NOT MORE THAN 20' AND AT ALL STORM SEWER INLETS. JOINTS SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER, 3/4" THICK, CONFORMING TO NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THE JOINT SHALL BE RECESSED 1/4" FROM THE TOP AND FRONT OF THE CONCRETE CURB.
- TRANSVERSE JOINTS 3/4" WIDE SHALL BE INSTALLED IN THE CURB 20' APART AND SHALL BE FILLED WITH PREFORMED, BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF AASHTO M-213, RECESSED 3/4" FROM THE FRONT FACE AND TOP OF THE CURB.
- DUMMY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.
- WIDTH OF JOINT FILLER STRIP EQUAL TO THE THICKNESS OF THE PAVEMENT LESS 3/4".
- A 3/4" PREFORMED EXPANSION JOINT FILLER, BITUMINOUS TYPE, CONFORMING TO AASHTO SPEC'S M-33, TO BE INSTALLED BETWEEN CURB AND NON-BITUMINOUS PAVEMENT OR BASE COURSE.
- CONCRETE TO BE CURED PER NJDOT SPECIFICATIONS.

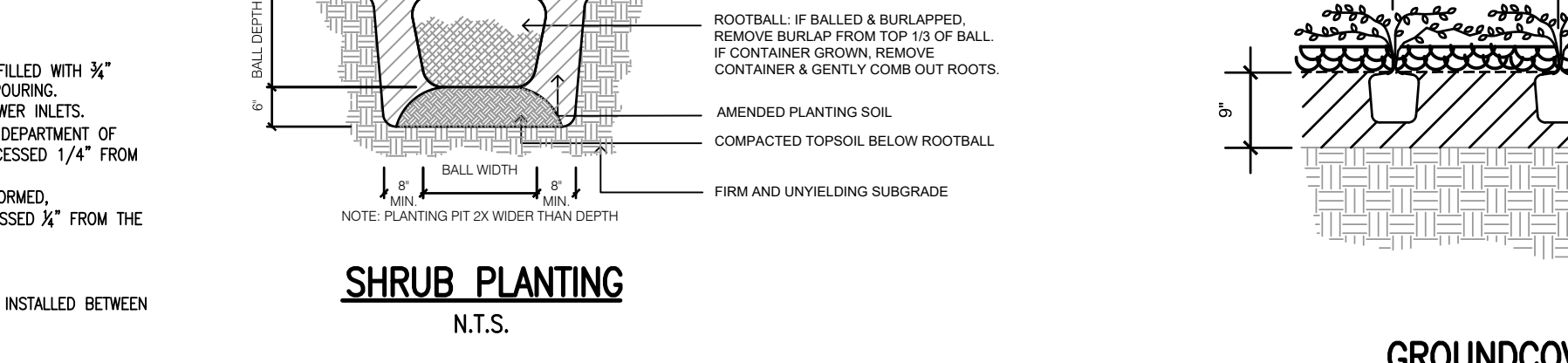
DEPRESSED CONCRETE CURB AT DRIVEWAY
N.T.S.



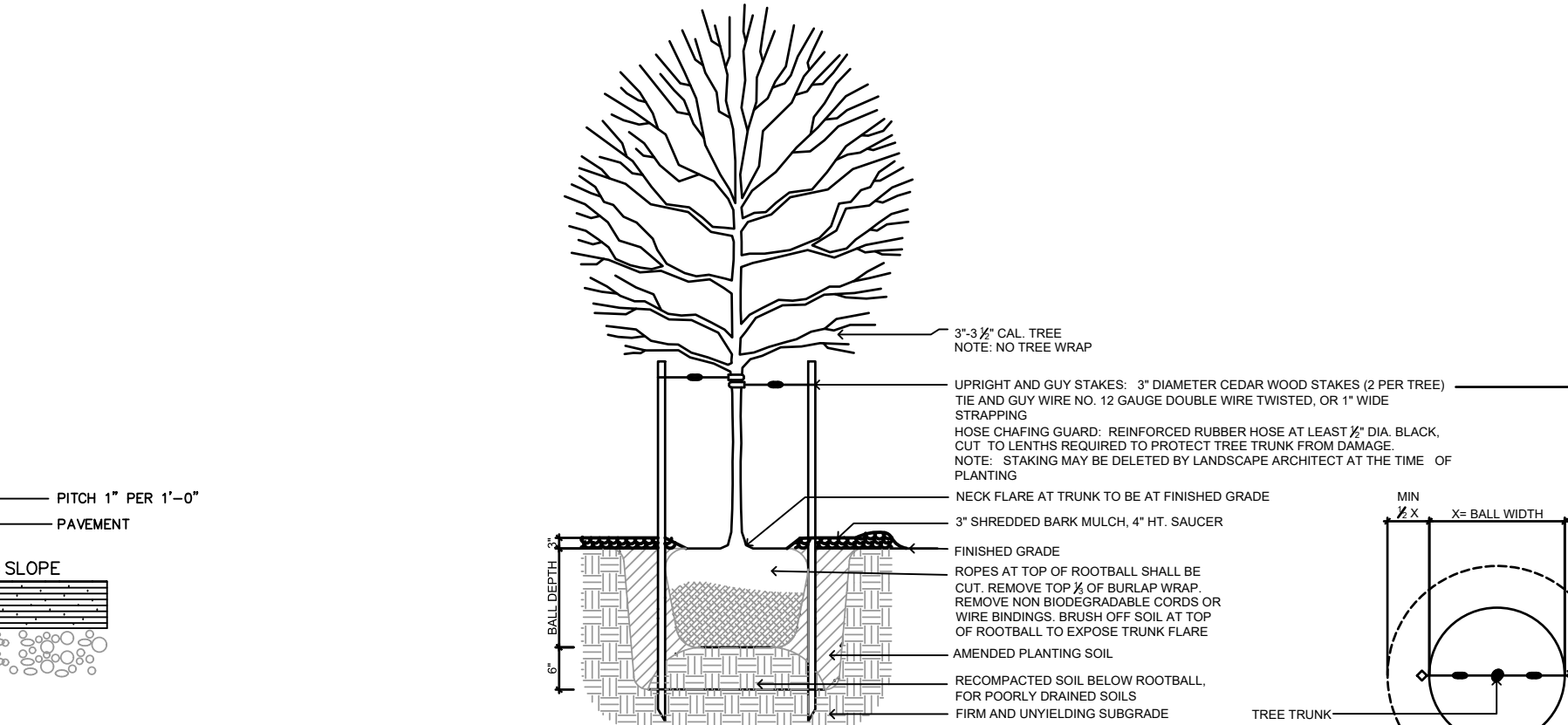
DETAIL - CONCRETE CURB & GUTTER
N.T.S.



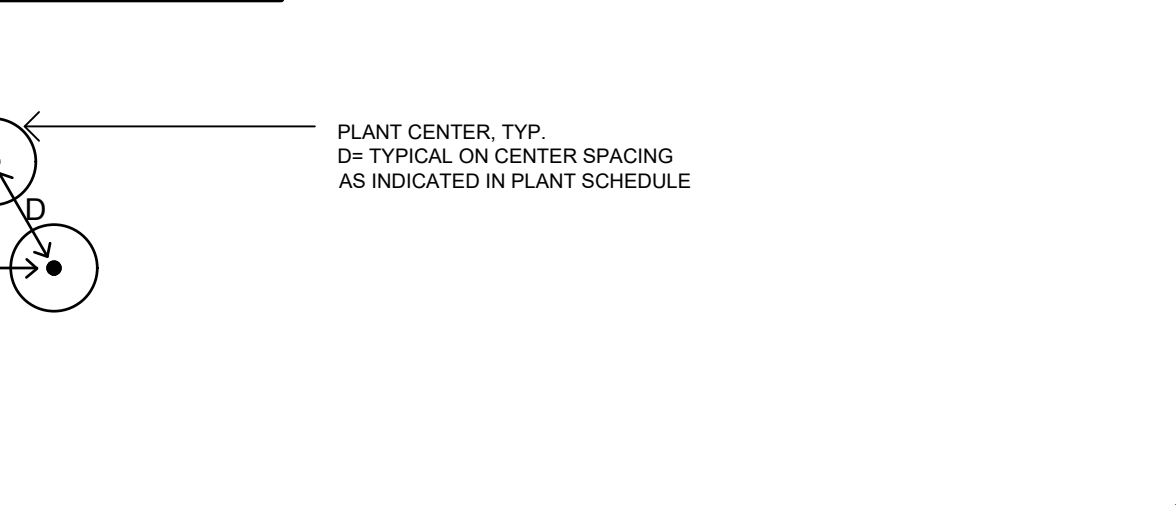
SHRUB PLANTING
N.T.S.



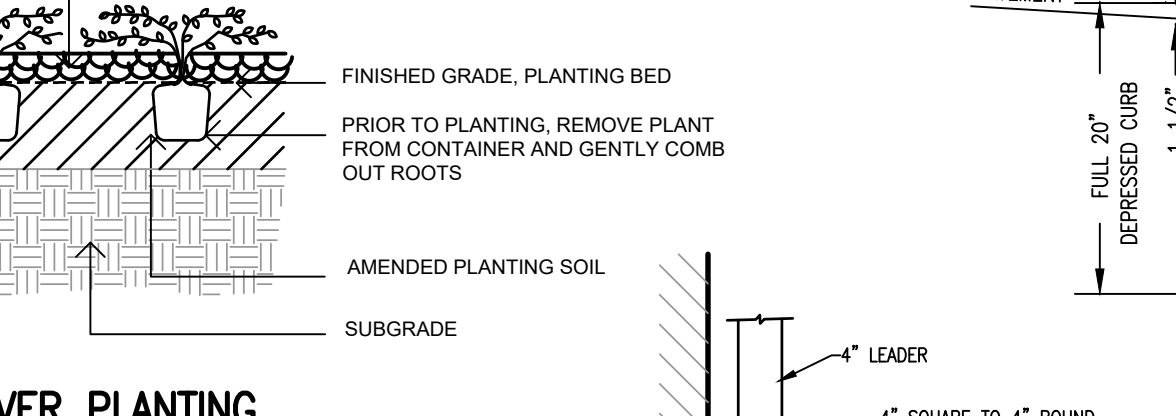
GROUND COVER PLANTING
N.T.S.



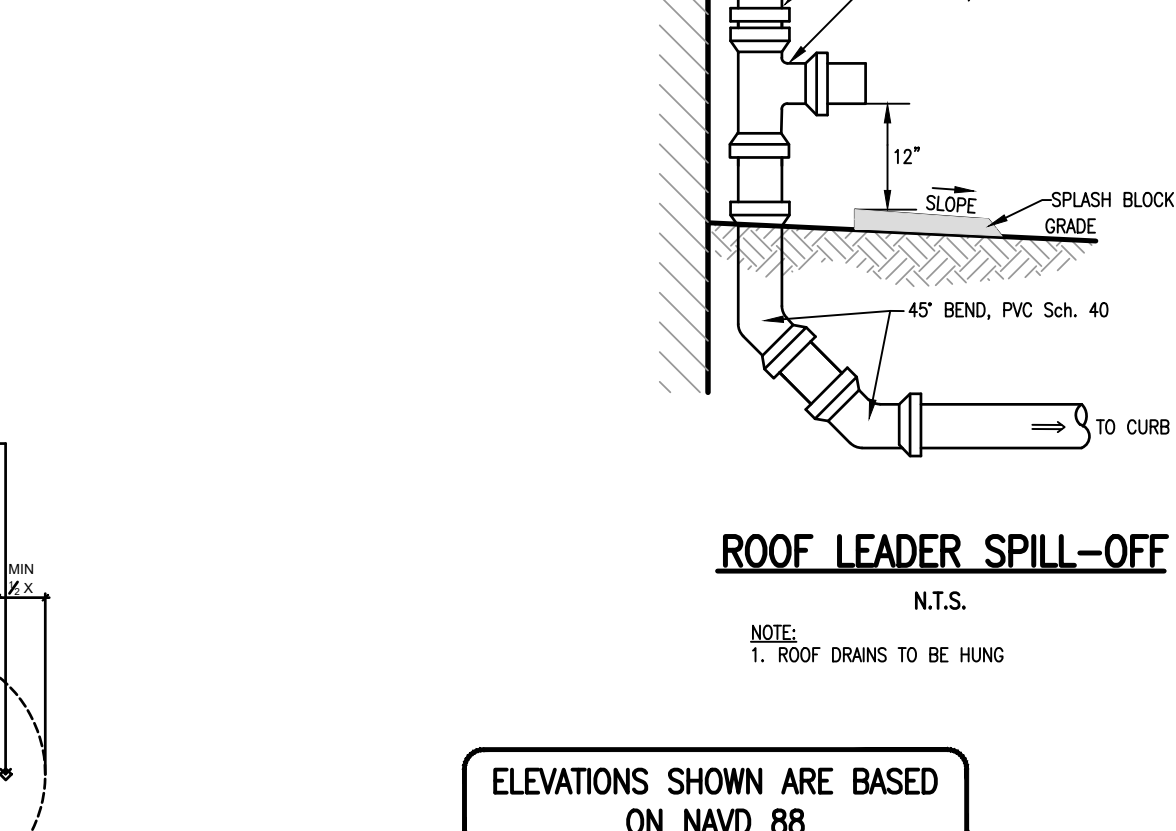
SHADE TREE PLANTING
N.T.S.



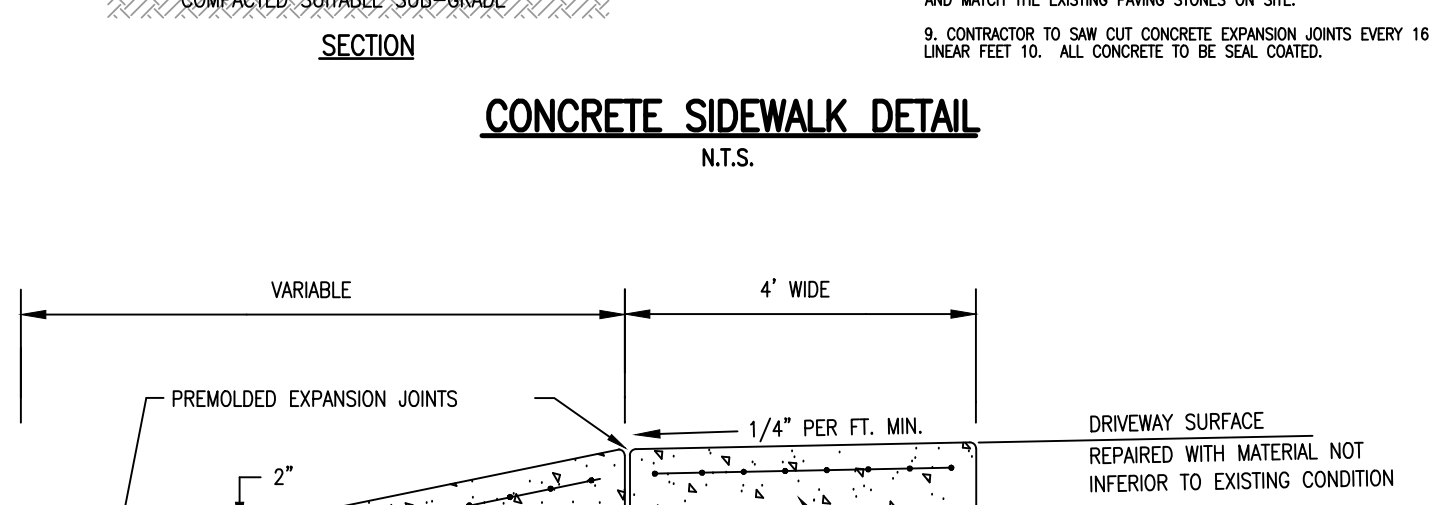
UTILITIES PLAN
SCALE: 1"=20'



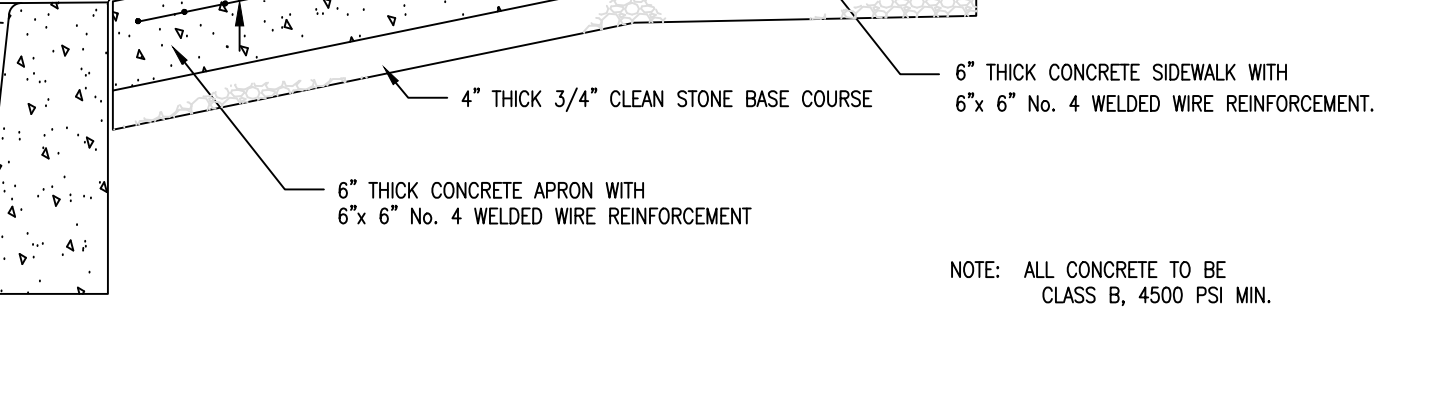
GROUND COVER PLANTING
N.T.S.



SHADE TREE PLANTING
N.T.S.



CONCRETE SIDEWALK DETAIL
N.T.S.



CONCRETE DRIVEWAY APRON TYPICAL SECTION
N.T.S.

REV.	DATE	DESCRIPTION	CHK'D.	APP'D

Harbor Consultants Inc.
Engineers & Surveyors
320 NORTH AVENUE EAST
CRANFORD, N.J. 07016
Phone (908) 276-2715 Fax (908) 709-1738
Email: info@hcicg.net

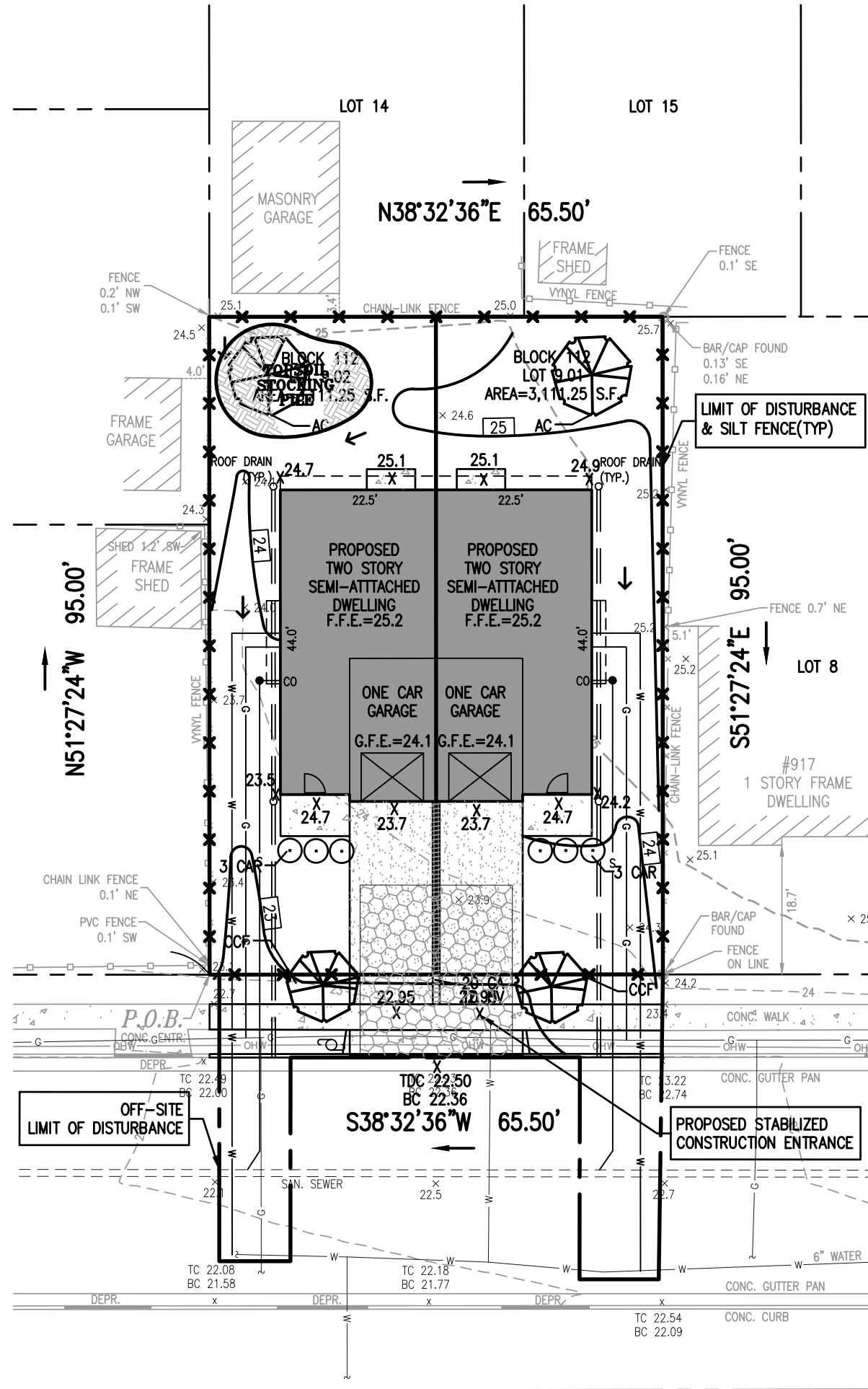
MINOR SUBDIVISION
GRADING, UTILITIES & CONSTRUCTION DETAILS PLAN
913 BERGEN AVENUE
LOTS 9 AND 10, BLOCK 112
UNION COUNTY NEW JERSEY

CITY OF LINDEN

SCALE: 1"=20'
DATE: 6/8/2020
DESIGNED BY: V.E.V.
DRAWN BY: C.V.F.
WORK FILE: T:\2020066\FINALS

CERTIFICATE OF AUTHORIZATION No. 246A27962100
PROJECT No. 2020066

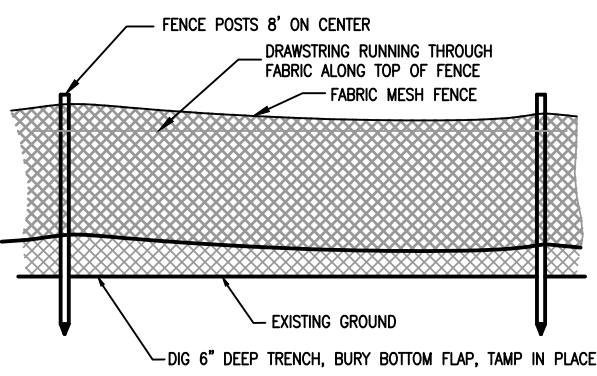
VICTOR E. VINEGRA
PROFESSIONAL ENGINEER & LAND SURVEYOR
NEW JERSEY LICENSE No. 34460



BERGEN AVENUE
(60' WIDE R.O.W.)

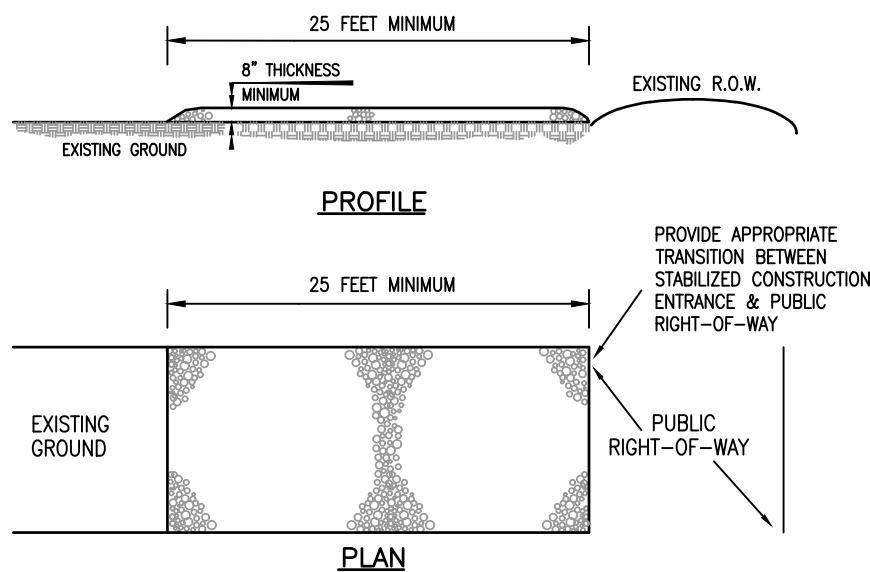
SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=20'



SILTATION FENCE DETAIL

N.T.S.



STABILIZED CONSTRUCTION ENTRANCE SPECIFICATIONS

1. STONE SIZE - USE ASTM C-33, SIZES NO. 2 OR 3, USE CRUSHED STONES.
2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN 8 INCHES.
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS, BUT IN NO CASE LESS THAN 15' WIDE.
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, CATCH BASIN, OR WATER COURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY WEARDAYS. USED TO TRAP SEDIMENT, ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
7. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE SHALL BE INSTALLED BEFORE INSTALLATION.

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

TEMPORARY & PERMANENT SEEDING SCHEDULE

(REVISED PER "NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL," 7th EDITION, DECEMBER 2017)

1. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION, REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLOUDS, LUMPS OR OTHER UNSUITABLE MATERIAL.
2. INSPECT SEEDED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.
3. TEMPORARY SEEDING SHALL CONSIST OF SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1,000 SF OR GRASS RYE APPLIED AT A RATE OF 2.4 LBS. PER 1,000 SF. TEMPORARY SEEDING TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING. IF ANY SERIOUS EROSION PROBLEM OCCURS, THE ERODED AREAS SHALL BE REPAIRED AND STABILIZED WITH A MULCH AS INDICATED IN NOTE 6.
4. PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL. SITE CONTAINS SOIL HALDEND-URBAN LAND-HASBROUCK COMPLEX, 0 TO 8 PERCENT SLOPES CLASSIFIED AS "SOMewhat POORLY DRAINED" AS PER NJ WEB SOIL SURVEY USA.
PLANTING MIXTURE TO BE USED: MIX-16 (RESIDENTIAL/COMMERCIAL USE)
ROUGH BLUEGRASS @ 90 lb/acre
STRONG CREEPING RED FESCUE @ 130 lb/acre
SITE IS LOCATED WITHIN USDA PLANT HARDINESS ZONE 6b, PLANTING DATES:
ACCEPTABLE DATE: 3/01 TO 4/30
ACCEPTABLE DATE: 5/01 TO 8/14 (**)
OPTIMAL DATE: 8/15 TO 10/15
(**) SUMMER SEEDINGS SHOULD ONLY BE CONDUCTED WHEN THE SITE IS IRRIGATED, MAKES INCLUDING WHITE CLOVER REQUIRE THAT AT LEAST SIX SEEDS OF BROWING SEASON REMAIN AFTER SEEDING TO ENSURE ESTABLISHMENT BEFORE FREEZING CONDITIONS.
5. PERMANENT SEEDING TO BE APPLIED BY CYCLONE SPREADER OR OTHER APPROVED METHOD, AT A RATE OF 150#/ACRE. SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 6.
6. FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-20-10 APPLIED AT A RATE OF 11lb/1000 SF OR AS DETERMINED BY SOIL TESTS. LIMESTONE FOR TEMPORARY SEEDING SHALL BE APPLIED AT A RATE OF 900/1000SF. LIMESTONE FOR PERMANENT SEEDING SHALL BE APPLIED AT A RATE OF 125lb/1000 SF.
7. IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH.
8. ALL SEEDED AREAS SHALL BE MULCHED. MULCH SHALL CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER, LIQUID MULCH BINDER, OR AN APPROVED EQUAL AT A RATE OF 70-90 LBS. PER 1000 SF.

STANDARD FOR STABILIZATION WITH VEGETATIVE COVER

(REVISED PER "NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL," 7th EDITION, JULY 2017)

METHODS AND MATERIALS

1. SITE PREPARATION

- A. GRADE, AS NEEDED AND FEASIBLE, TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
- C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 3 INCHES (UNSTILLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
- D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

2. SEEDED PREPARATION

- A. UNLESSIMPLY APPLY GROUND LIME AND FERTILIZER TO TOPSOIL, WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUFGERS CO-OPERATIVE EXTENSION. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT, WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SUBGRADE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
- B. WORK LIME AND FERTILIZER INTO THE TOPSOIL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM SEEDED IS PREPARED.
- C. HIGH ACID PRODUCING SOILS, SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS OF SPECIFIC REQUIREMENTS.

3. SEEDING

- A. SELECT A MIXTURE FROM TABLE 4-3 OR USE A MIXTURE RECOMMENDED BY RUFGERS CO-OPERATIVE EXTENSION OR NATURAL RESOURCES CONSERVATION SERVICE WHICH IS APPROVED BY THE SOIL CONSERVATION DISTRICT. SEED GERMINATION SHALL HAVE BEEN TESTED WITH 12 MONTHS OF THE PLANTING DATE, NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED.
1. SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVERAGE WITH THE SPECIFIED SEED MIXTURE FOR THE SEEDED AREA AND MOVED ONCE.
2. WARM-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES, GENERALLY 85°F AND ABOVE. SEE TABLE 4-3 MIXTURES 1 TO 7. PLANTING RATES FOR WARM-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY GERMINATION TESTING RESULTS.
3. COOL-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 85°F. MANY GRASSES BECOME ACTIVE AT 65°F. SEE TABLE 4-3 MIXTURES 8 TO 20. ADJUSTMENT OF PLANTING RATES TO COMPENSATE FOR THE AMOUNT OF PLS IS NOT REQUIRED FOR COOL-SEASON GRASSES.
- B. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDER OR CULPACKER SEEDING, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/2 INCH DEEPER ON COARSE-TEXTURED SOIL.
- C. AFTER SEEDING, FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.
- D. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. ALSO SEE SECTION 4-MULCHING BELOW. HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.

4. MULCHING

- MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.
- A. STRAW OF HAY, UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRUMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BINDERS WILL NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWN DUE TO THE PRESENCE OF WEED SEED.
 - APPLICATION - SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE EACH AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE TO 90 POUNDS WITHIN EACH SECTION.
 - ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND CROSS DIRECTION.
 1. PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRSS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 2. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
 3. CRUMPER (MULCH ANCHORING COUNTER TOOL) - A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
 4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH.

- (A) APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
- (B) USE ONE OF THE FOLLOWING:
 - (1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANE NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTIC EFFECT OR IMPIDE GROWTH OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - (2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

- B. WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OF GERMINATION INHIBITING MATERIALS. USED AT THE RATE OF 1,500 POUNDS PER ACRE OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE MIXED BY A HYDROSEEDER. MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPED AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.
- C. PELLETED MULCH - COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORM A MULCH MAT. PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS, SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE. APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

5. IRRIGATION (WHERE FEASIBLE)

IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDLING WITH ADEQUATE WATER (A MINIMUM OF 1/2 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE DONE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.

6. TOPDRESSING

SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED IN SECTION 2A - SEEDED PREPARATION IN THIS STANDARD, NO FOLLOW-UP OF TOPDRESSING IS MANDATORY. AN EXCEPTION MAY BE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN THAT INSTANCE, TOPDRESS WITH 10-10-10 OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELIORATED.

7. ESTABLISHING PERMANENT VEGETATIVE STABILIZATION

THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4-3 ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO THE ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER (OF THE SEEDED SPECIES) AND MOVED ONCE.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEEDED OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, IN NEW JERSEY.
5. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCES OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (I.E. SLOPES GREATER THAN 3:1).
8. THE STANDARDS FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD OF 1 1/2' TO 2' STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
9. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDED PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
10. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 72 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
11. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATION STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER IT, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
12. IN THAT N.J.S.A. 4:24-30 ET SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
13. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
14. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
15. UNFILTERED Dewatering IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL Dewatering OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY Dewatering MEASURES MUST BE IN ACCORDANCE WITH STATE STANDARDS.
16. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
17. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
18. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORM WATER OUTFALLS OR OFF SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
19. STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. THE DISTRICT RESERVES THE RIGHT TO DETERMINE WHEN CERTIFICATION OF A NEW AND SEPARATE SOIL EROSION AND SEDIMENT CONTROL PLAN WILL BE REQUIRED FOR THESE ACTIVITIES.
20. ALL SOIL STOCKPILES AREA TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #2.
21. A UNIFORM APPLICATION OF TOPSOIL WILL BE APPLIED TO AN AVERAGE DEPTH OF 5.0 INCHES, WITH A MINIMUM OF 4.0 INCHES.

SEQUENCE OF CONSTRUCTION OPERATIONS

ACTIVITY	TIME PERIOD
1. Install silt fence.	1 Day
2. Install stabilized construction entrance.	1 Day
3. Demolish existing structures and associated improvements.	1 Week
4. Strip topsoil, stockpile and stabilize.	2 Days
5. Excavate and construct foundation.	2 Month
6. Back fill Foundation, rough grade site and apply temporary seeding and or mulch as required.	3 Days
7. Begin Building construction.	1 Year
8. Connect underground utilities.	2 Week
9. Install services walkways and pave driveway.	3 Days
10. Finish grading site and apply permanent stabilization measures.	1 Week
11. Remove temporary soil erosion control measures.	1 Day
12. Complete Building and Landscaping.	2 Weeks



Harbor Consultants Inc.
Engineers & Surveyors
320 NORTH AVENUE EAST
CRANFORD, N.J. 07016
Phone (908) 276-2715 Fax (908) 709-1738
Email: info@hcginc.net

MINOR SUBDIVISION
SOIL EROSION & SEDIMENT CONTROL PLAN
913 BERGEN AVENUE
LOTS 9 AND 10, BLOCK 112
UNION COUNTY NEW JERSEY

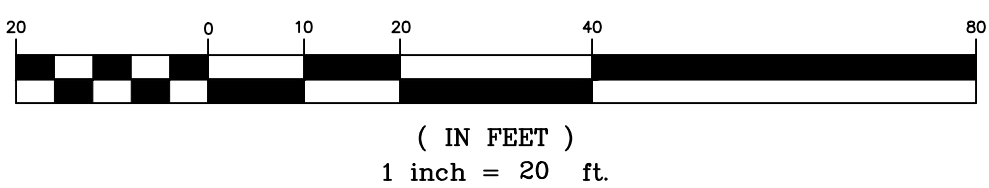
CITY OF LINDEN
SCALE: 1"=20'
DATE: 6/8/2020
DESIGNED BY: V.E.V.
DRAWN BY: C.V.F.
WORK FILE: T:\2020066\FINALS

VICTOR E. VINEGRA
PROFESSIONAL ENGINEER & LAND SURVEYOR
NEW JERSEY LICENSE No. 34460
CERTIFICATE OF AUTHORIZATION No. 246A27962100
PROJECT No. 2020066

4

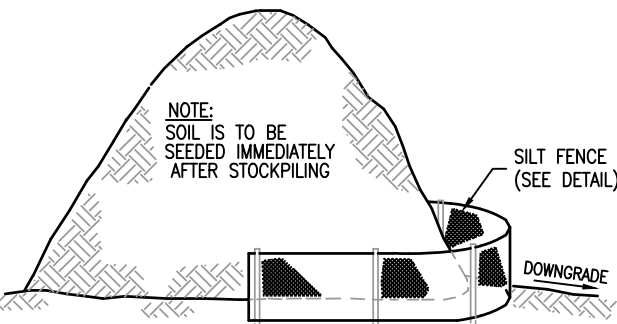
ELEVATIONS SHOWN ARE BASED ON NAVD 88

GRAPHIC SCALE



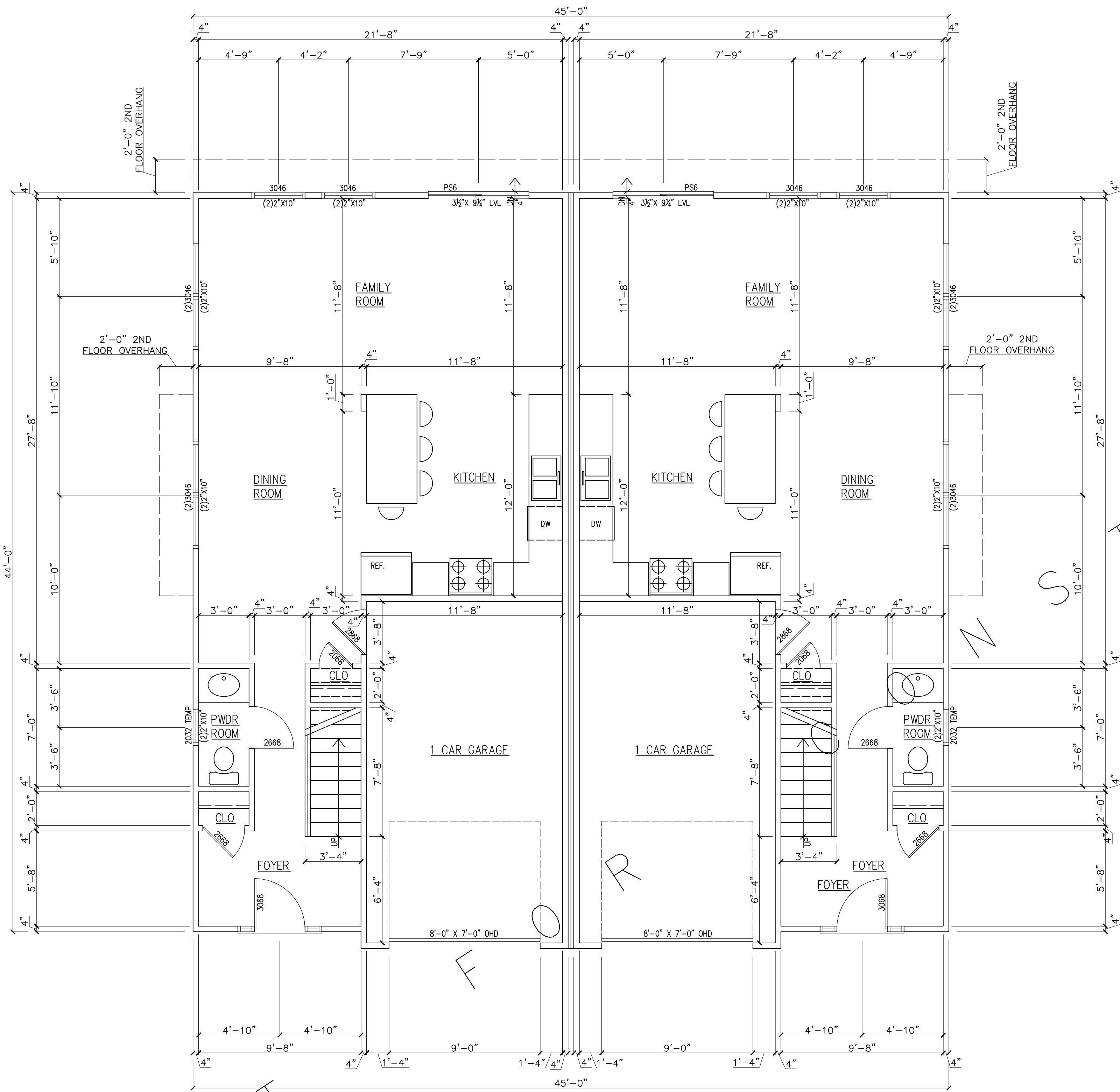
LEGEND

- | | |
|----------------------|-----------------------|
| STREET SIGN | IRON BAR FOUND |
| CLEANOUT | MAILBOX |
| SANITARY MANHOLE | STREET TREE |
| DRAINAGE MANHOLE | EXIST. SPOT ELEVATION |
| CATCH BASIN | EXISTING CONTOUR LINE |
| CATCH BASIN | GAS LINE |
| SOIL BORING | WATER LINE |
| GUY WIRE | GAS VALVE |
| UTILITY POLE | WATER VALVE |
| P.K. NAIL FOUND | FIRE HYDRANT |
| CONC. MONUMENT FOUND | LIGHT POST |



TOPSOIL STOCKPILING DETAIL

N.T.S.



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

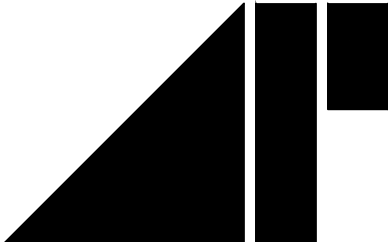


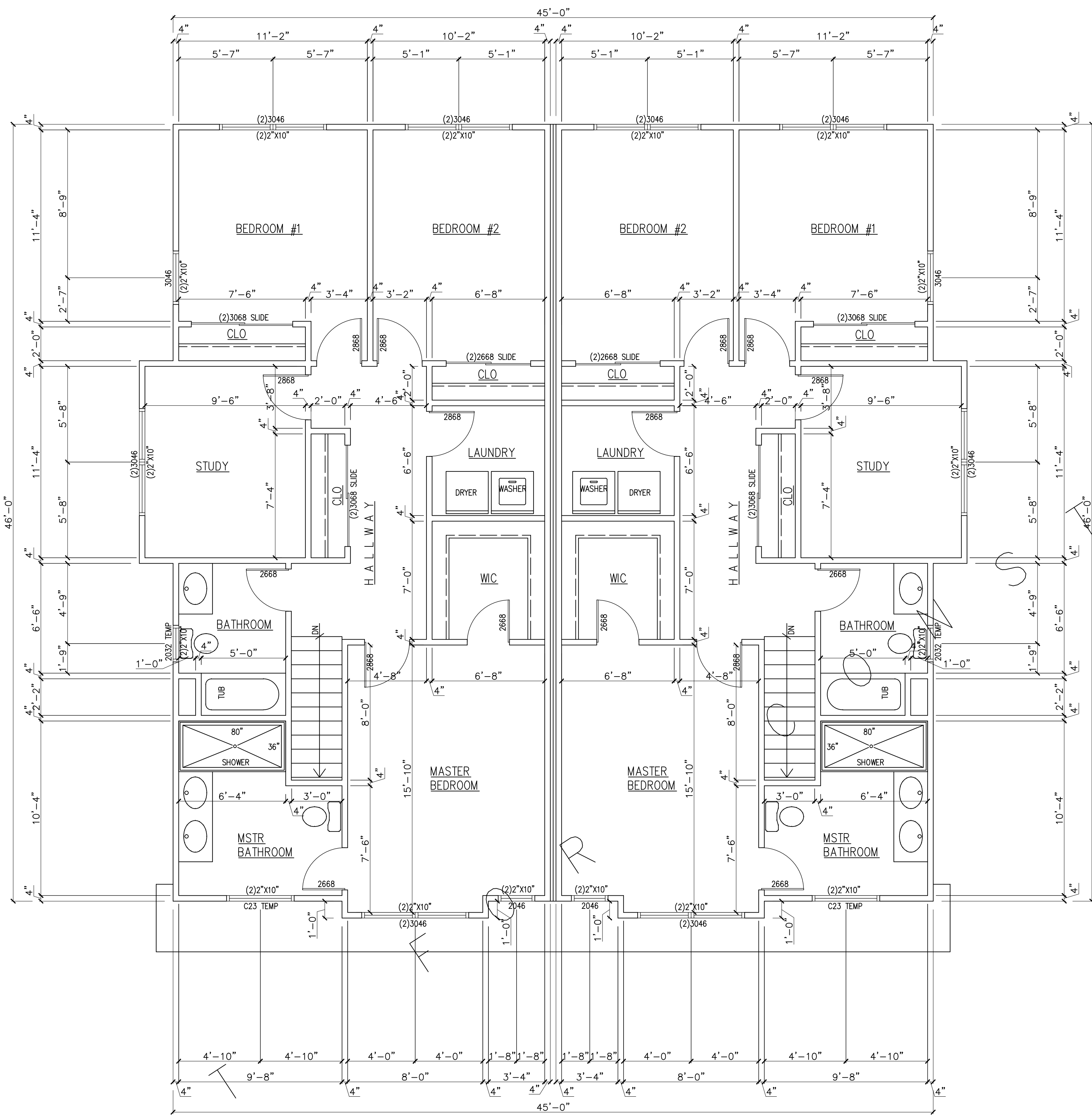
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL INFORMATION			
UNIT 1		ADDRESS: 913 BERGEN AVE., LINDEN, NJ	UNIT 2
CONSTRUCTION TYPE	- V-B	CONSTRUCTION TYPE	- V-B
USE GROUP	- R-5	USE GROUP	- R-5
UNIT 1 AREA :		UNIT 2 AREA :	
- FIRST FLOOR :	740 SQ FT	- FIRST FLOOR :	740 SQ FT
- SECOND FLOOR :	1,068 SQ FT	- SECOND FLOOR :	1,068 SQ FT
TOTAL :	1,808 SQ FT	TOTAL :	1,808 SQ FT
- GARAGE :	262 SQ FT	- GARAGE :	262 SQ FT
VOLUME :	24,688 CU FT	VOLUME :	24,688 CU FT
CODE USED : INTERNATIONAL RESIDENTIAL CODE IRC - 2018 NEW JERSEY EDITION.			

SITE PLAN NOTE
FOR SITE PLAN AND ZONING INFORMATION
SEE ENGINEERING DRAWINGS

		architect	
ANDREW PODBEREZNAK R.A. 11 High Point Drive Springfield N.J. 07081 Tel: 973-493-9476 Fax: 908-277-6007			
Date 5.29.20	Project Title NEW TWO ATTACHED SINGLE FAMILY DWELLINGS 913 BERGEN AVE., LINDEN, NJ	Job # 20-059	A - 1 OF 3
Scale AS NOTES	Drawing Title FIRST FLOOR PLAN, FRONT ELEVATION, ZONING INFORMATION	Dwg. #	
Drawn by J.D.	Checked by A.P.	ZONING REVIEW	



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

 <div>architect</div>			
ANDREW PODBEREZNAIAK R.A. 11 High Point Drive Springfield N.J. 07081		Tel: 973-493-9476 Fax: 908-277-6007 N.J. Lic # 12241	
Date 5.29.20	Project Title NEW TWO ATTACHED SINGLE FAMILY DWELLINGS 913 BERGEN AVE., LINDEN, NJ	Job # 20-059	
Scale AS NOTES		Dwg. # A - 2	
Drawn by J.D.	Drawing Title SECOND FLOOR PLAN		
Checked by A.P.	ZONING REVIEW	OF 3	



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"




REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

 architect			
ANDREW PODBEREZNAIAK R.A. 11 High Point Drive Springfield N.J. 07081		Tel: 973-493-9476 Fax: 908-277-6007 N.J. Lic # 12241	
Date 5.29.20	Project Title NEW TWO ATTACHED SINGLE FAMILY DWELLINGS 913 BERGEN AVE., LINDEN, NJ	Job # 20-059	
Scale AS NOTES		Dwg. #	
Drawn by J.D.	Drawing Title ELEVATIONS	A - 3	
Checked by A.P.	ZONING REVIEW	OF 3	