

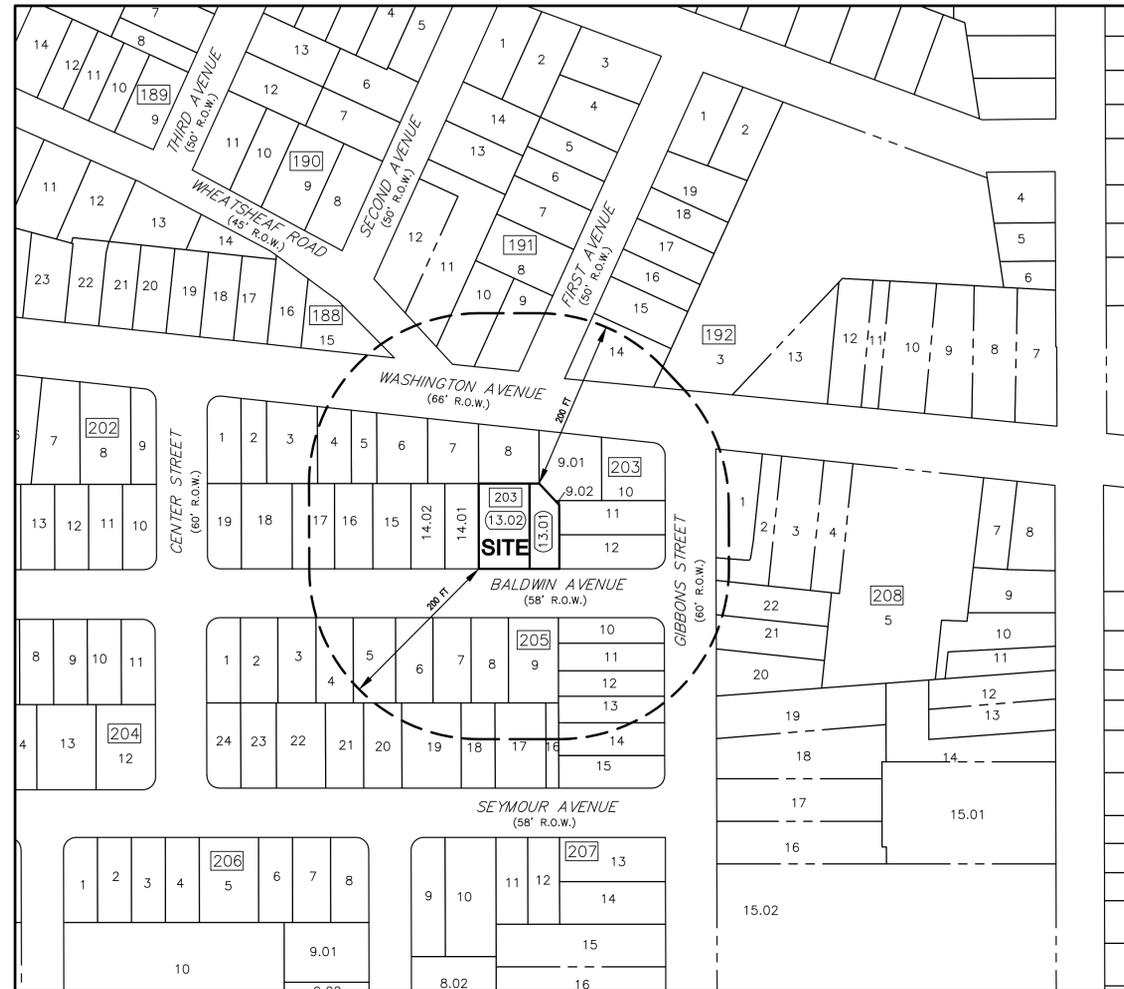
MINOR SUBDIVISION PLAN

No. 816 BALDWIN AVENUE LOTS 13.01 & 13.02, BLOCK 203 TAX MAP SHEET No. 45

CITY OF LINDEN UNION COUNTY NEW JERSEY

LIST PROPERTY OWNERS & UTILITIES 200 FEET

BLOCK & LOT	PROPERTY LOCATION	OWNER/MAIL ADDRESS
188 15	840 WASHINGTON AVE	SUAREZ, EVELYN - SUAREZ, MIKE 840 WASHINGTON AVE Linden, NJ 07036
191 9	812 WASHINGTON AVE	PIERRE, VIDOR - ROMULUS, MARI 812 WASHINGTON AVE Linden, NJ 07036
191 10	816 WASHINGTON AVE	MOLANO, MARIA 816 WASHINGTON AVE Linden, NJ 07036
191 11	810 WHEATSHEAF RD	SZYMANSKI, KAROL & KAZMERA 810 WHEATSHEAF RD Linden, NJ 07036
192 14	320 2ND AVE	IBRAHIM, OLASEN 320 2ND AVE Linden, NJ 07036
203 3	843 WASHINGTON AVE	NAWAZ, SAMYA - NAWAZ, ADIL 843 WASHINGTON AVE Linden, NJ 07036
203 4	839 WASHINGTON AVE	PATEL, ASHOK C & JAYSHRI 839 WASHINGTON AVE Linden, NJ 07036
203 5	835 WASHINGTON AVE	RANONE, ANNA - RANONE, JOHN J 84-13 14TH ST Richmond Hill, NY 11418
203 6	831 WASHINGTON AVE	KF PROPERTY GROUP LLC 172 CYPRESS DR Cobleskill, NJ 07037
203 7	825 WASHINGTON AVE	PANDO, ISAIAS & ZULMA 825 WASHINGTON AVE Linden, NJ 07036
203 8	817 WASHINGTON AVE	BOYO, NUNICA 817 WASHINGTON AVE Linden, NJ 07036
203 9.01	811 WASHINGTON AVE	DAWKINS, EARL - SMITH, CONSTANCE A 811 WASHINGTON AVE Linden, NJ 07036
203 9.02	810 BALDWIN AVE REAR	CITY OF LINDEN 301 N WOOD AVE Linden, NJ 07036
203 10	139 E GIBBONS ST	MAUGHAN, MARY 1003 WHEATSHEAF RD Linden, NJ 07036
203 11	133 E GIBBONS ST	PORRAS, ABEL & MILAGROS 133 E GIBBONS ST Linden, NJ 07036
203 12	117 E GIBBONS ST	BUCH, FRED & LUCY 117 E GIBBONS ST Linden, NJ 07036
203 14.01	820 BALDWIN AVE	PRINCIPATO, FRANK & CATHEEN 820 BALDWIN AVE Linden, NJ 07036
203 14.02	824 BALDWIN AVE	NUNEZ, EDDY A & RAMONA K CABRAL 824 BALDWIN AVE Linden, NJ 07036
203 15	832 BALDWIN AVE	TURON, DANUTA & WOJECIECH 40 STILES RD Morris, NJ 07059
203 16	836 BALDWIN AVE	WALTMAN, LINDA 836 BALDWIN AVE Linden, NJ 07036
203 17	840 BALDWIN AVE	GOMEZ, A - HERNANDEZ, R - GOMEZ, S 840 BALDWIN AVE Linden, NJ 07036
205 3	839 BALDWIN AVE	SAKSON, JEANETTE D 839 BALDWIN AVE Linden, NJ 07036
205 4	837 BALDWIN AVE	GARCIA, CARLOS 837 BALDWIN AVE Linden, NJ 07036
205 5	831 BALDWIN AVE	RAMOS, MARIA 831 BALDWIN AVE Linden, NJ 07036



PROJECT AREA
1"=100'

PREPARED AUGUST 2020

FOR

KW HOME KREATION LLC

17 ORCHARD PLACE
CEDAR KNOLLS, NJ 07927

LIST PROPERTY OWNERS & UTILITIES 200 FEET

BLOCK & LOT	PROPERTY LOCATION	OWNER/MAIL ADDRESS
205 6	827 BALDWIN AVE	JONES, KENNETH - MOHRING, MELISSA 827 BALDWIN AVE Linden, NJ 07036
205 7	823 BALDWIN AVE	MARPLES, SUSAN 823 BALDWIN AVE Linden, NJ 07036
205 8	819 BALDWIN AVE	RUSSO, JAMES JR & MARLYN 819 BALDWIN AVE Linden, NJ 07036
205 9	815 BALDWIN AVE	WNEK, K - WNEK, WF - WNEK, MJ 16 BC FOXWOOD DR MORRIS PLAINS, NJ 07950
205 10	115 E GIBBONS ST	CALAVANO, JAMES - CALAVANO, JOSEPH 115 E GIBBONS ST Linden, NJ 07036
205 11	113 E GIBBONS ST	RIVADENERA, ANTHONY 113 E GIBBONS ST Linden, NJ 07036
205 12	111 E GIBBONS ST	ROJAS, RONALD 111 E GIBBONS ST Linden, NJ 07036
205 13	109 E GIBBONS ST	SILVA, LUZ A 109 E GIBBONS ST Linden, NJ 07036
205 14	107 E GIBBONS ST	MELO, WALESKA S 107 E GIBBONS ST Linden, NJ 07036
205 15	101 E GIBBONS ST	WU, STANLY B 20 SCHEURMAN TERR Warren, NJ 07059
205 16	810 SEYMOUR AVE	MELO, WALESKA S 107 E GIBBONS ST Linden, NJ 07036
205 17	814 SEYMOUR AVE	TEZYK, STANLEY 814 SEYMOUR AVE Linden, NJ 07036
205 18	820 SEYMOUR AVE	DESAI, NIKETAN O & VASHALI N 820 SEYMOUR AVE Linden, NJ 07036
205 19	824 SEYMOUR AVE	CARR, JEAN E & JAMES T 824 SEYMOUR AVE Linden, NJ 07036
205 20	830 SEYMOUR AVE	FINGERLIN, RICHARD A JR & LINDSEY M 830 SEYMOUR AVE Linden, NJ 07036
208 1	849 BALDWIN AVE	LOUIS, G - LOUIS, W - DERVAL, MA 849 BALDWIN AVE Linden, NJ 07036
208 2	845 BALDWIN AVE	FARCHILD, PATRENA 845 BALDWIN AVE Linden, NJ 07036
208 20	830 SEYMOUR AVE	FINGERLIN, RICHARD A JR & LINDSEY M 830 SEYMOUR AVE Linden, NJ 07036
208 21	834 SEYMOUR AVE	FREITAS, DANIELLE - CAPECE, DEBRA 834 SEYMOUR AVE Linden, NJ 07036
208 22	840 SEYMOUR AVE	AMARI, PAUL B 840 SEYMOUR AVE Linden, NJ 07036

PUBLIC UTILITIES AND OTHER AGENCIES TO BE NOTIFIED

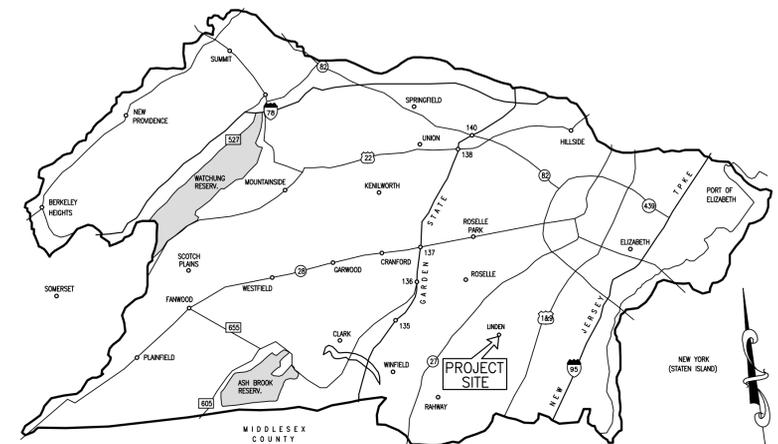
NEW JERSEY AMERICAN WATER COMPANY, Inc 1341 NORTH AVENUE PLAINFIELD, NJ 07062 ATTN: MICHAEL BRANDE MANAGER NETWORK OPERATIONS T:(908) 413-0186 MICHAEL.brandon@nwater.com	SUNOCO PIPELINE LP RIGHT OF WAY DEPARTMENT 525 FRITZTOWN ROAD SHAWING SPRING, PA 19608 ATTN: SUSAN ERICKSON T:(610) 670-3266
ELIZABETHTOWN GAS COMPANY 520 GREEN LANE UNION, NJ 07083 ATTN: BREIGHT L BALINT, DISTRIBUTION ENGINEER T:(908) 662-8321 gbalint@elgasresources.com	COMCAST CABLEVISION 803 RAINWAY AVENUE UNION, NJ 07083 ATTN: GEORGE PALCIA George.Palcia@comcast.com T:(908) 851-8828
PUBLIC SERVICE ELECTRIC & GAS COMPANY 472 WESTON CANAL ROAD SOMERSET, NJ 08873 ATTN: JOSEPH DEPINTO-JOSEPH DISTRIBUTION ENGINEER T:(732) 443-3465	VERIZON COMMUNICATION 280 WEST MT. PLEASANT AVENUE LIVANSTON, NJ 07039 ATTN: ROBERT E. Oycoc@verizon.com T:(973) 422-9134
UNION TOWNSHIP DEPT. OF PUBLIC WORKS 1 SHANSTRON PLACE UNION, NJ 07083 ATTN: ROBERT CALDERONE T:(908) 686-1922	CENTURY LINK 100 CENTER STREET CLINTON, NJ 08809 SHAWING SPRING, PA 19608 ATTN: JOHN CESAR T:(908) 735-3589

CERTIFICATION OF APPROVAL

APPROVED BY THE PLANNING BOARD
OF THE CITY OF LINDEN

CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE

APPLICANT/OWNER
KW HOME KREATIONS LLC
17 ORCHARD PLACE
CEDAR KNOLLS, N.J. 07927



UNION COUNTY KEY MAP
N.T.S.

SHEET INDEX

SHEET No.	DESCRIPTION	PREPARED	LAST REVISED
1	COVER SHEET	08/14/2020	
2	EXISTING CONDITIONS, DEMOLITION, LAYOUT & DIMENSIONING PLAN	08/14/2020	
3	GRADING, UTILITIES & CONSTRUCTION DETAILS PLAN	08/14/2020	
4	SOIL EROSION & SEDIMENT CONTROL PLAN	08/14/2020	

ARCHITECTURAL PLANS PREPARED BY: ANDREW PODBEREZNIK R.A.
11 HIGH POINT DRIVE
SPRINGFIELD, NJ 07081
TEL: 973-493-9476

REV.	DATE	DESCRIPTION	CHK'D.	APP'VD.

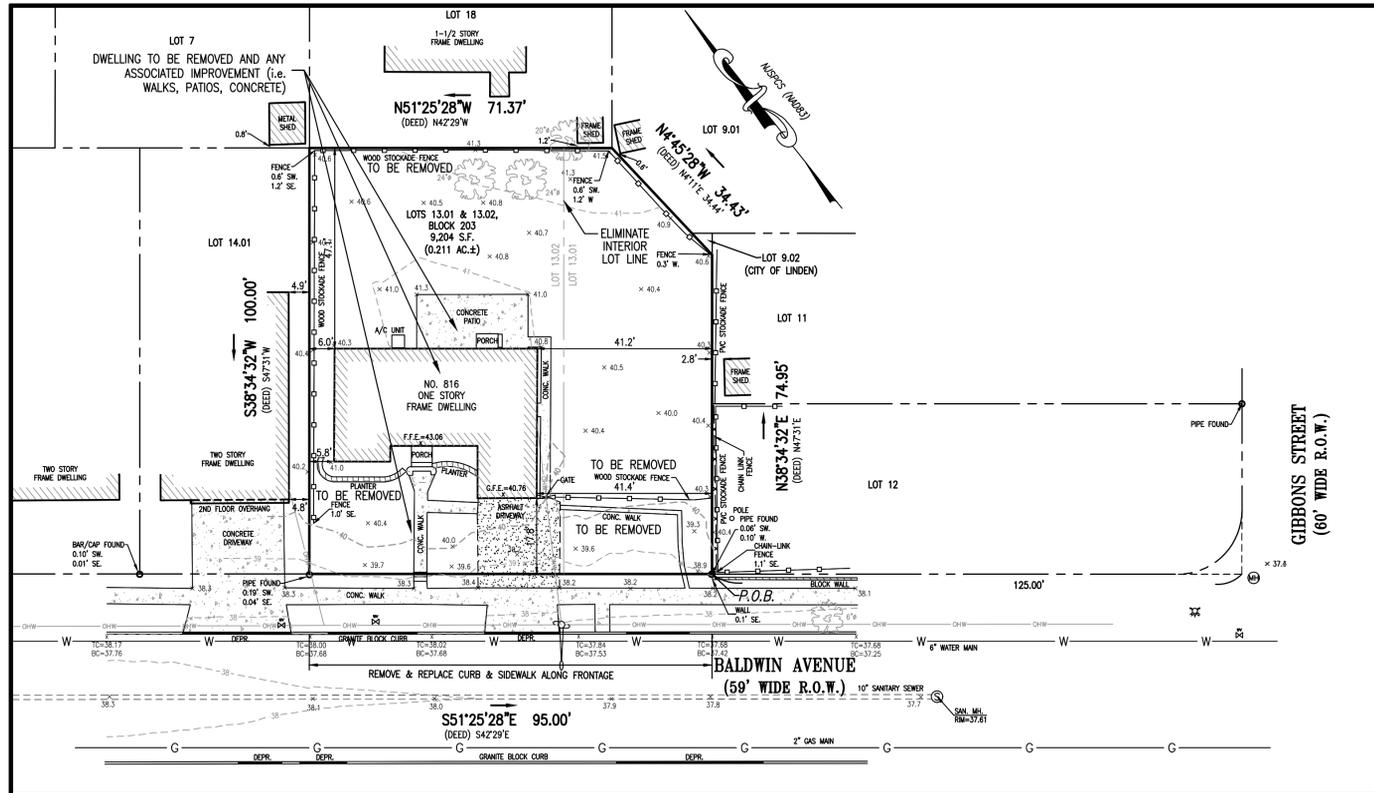


Harbor Consultants Inc.
Engineers & Surveyors
320 NORTH AVENUE EAST
CRANFORD, N.J. 07016
Phone (908) 276-2715 Fax (908) 709-1738
Email: info@hcieg.net

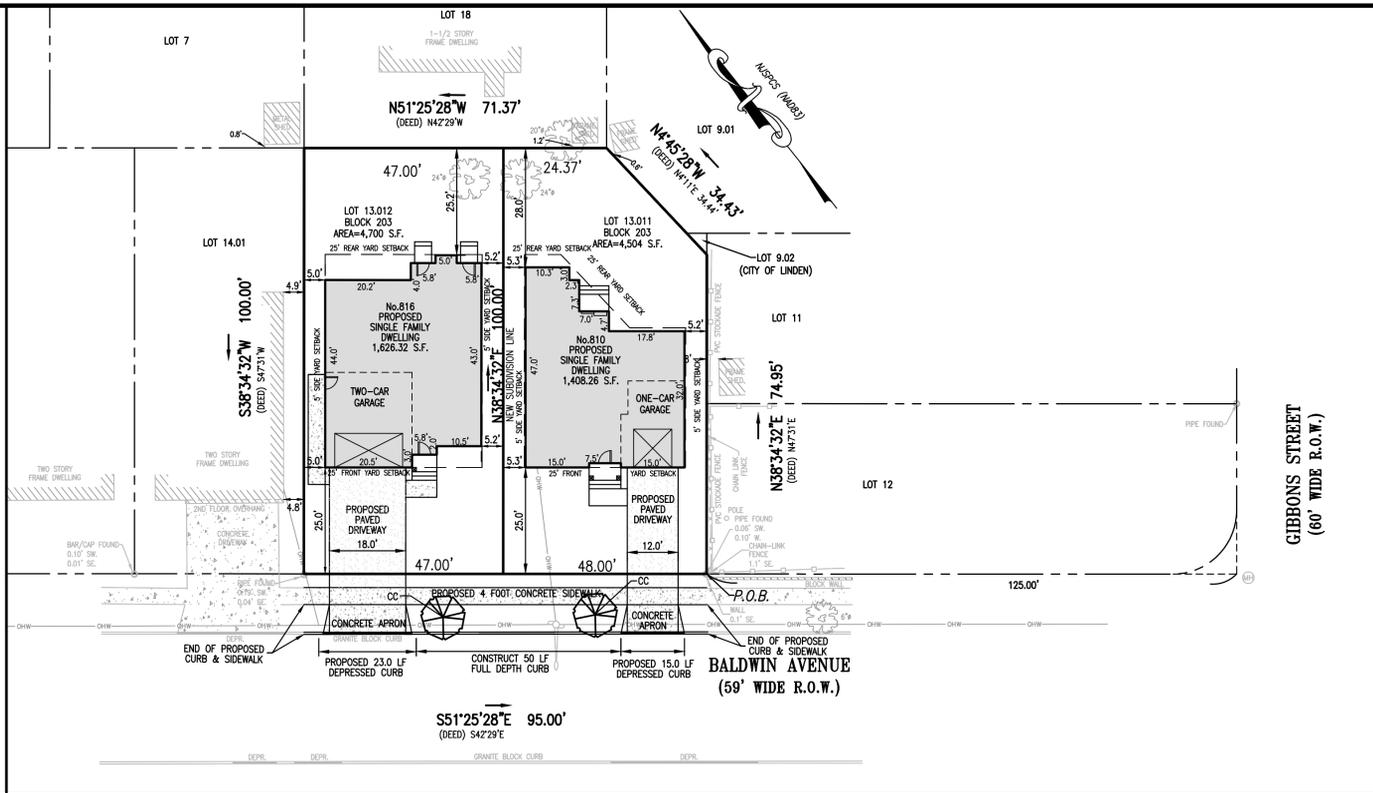
1

MINOR SUBDIVISION PLAN COVER SHEET No. 816 BALDWIN AVENUE LOTS 13.01 & 13.02, BLOCK 203		CITY OF LINDEN UNION COUNTY NEW JERSEY	
SCALE: AS-SHOWN	DATE: 08/14/2020	DESIGNED BY: V.E.V.	DRAWN BY: S.P.
WORK FILE: 2020090 COVER	CERTIFICATE OF AUTHORIZATION No. 24GA27962100	PROJECT No. 2020090	

VICTOR E. VINEGRA
PROFESSIONAL ENGINEER & LAND SURVEYOR
NEW JERSEY LICENSE No. 34460



EXISTING CONDITIONS & DEMOLITION PLAN
SCALE: 1"=20'



LAYOUT & DIMENSIONING PLAN
SCALE: 1"=20'

SCHEDULE OF AREA YARD AND BULK REQUIREMENTS
CITY OF LINDEN, UNION COUNTY, NEW JERSEY
ZONE: R-2B (TWO-FAMILY, SINGLE DWELLING)

BULK ITEM	REQUIRED	EXISTING CONDITIONS		PROPOSED CONDITIONS			
		LOT 13.01	COMPLY	LOT 13.011	COMPLY	LOT 13.012	COMPLY
PERMITTED USE	SINGLE-FAMILY DWELLING	SINGLE-FAMILY DWELLING	YES	SINGLE-FAMILY DWELLING	YES	SINGLE-FAMILY DWELLING	YES
MINIMUM LOT SIZE	4,000 S.F.	9,204 S.F.	YES	4,504 S.F.	YES	4,700 S.F.	YES
MINIMUM LOT WIDTH	40.0 FEET	95.0 FEET	YES	48.0 FEET	YES	47.0 FEET	YES
MINIMUM LOT DEPTH	100.0 FEET	100.0 FEET	YES	100.0 FEET	YES	100.0 FEET	YES
MINIMUM FRONT YARD	25.0 FEET	17.8 FEET	NO (1)	25.0 FEET	YES	25.0 FEET	YES
MINIMUM ONE SIDE YARD	5.0 FEET	5.8 FEET	YES	5.2 FEET	YES	5.0 FEET	YES
MINIMUM BOTH SIDE YARDS	10.0 FEET	47.0 FEET	YES	10.5 FEET	YES	10.2 FEET	YES
MINIMUM REAR YARD	25.0 FEET	47.1 FEET	YES	25.0 FEET	YES	25.2 FEET	YES
MAXIMUM BUILDING HEIGHT	26.0 FEET	<26.0 FEET	YES	2 STORIES 25.83 FEET	YES	2 STORIES 25.75 FEET	YES
MAXIMUM LOT COVERAGE	40%	25.2% (2,323 S.F.)	YES	31.3% (1,408.26 S.F.)	YES	34.6% (1,626.32 S.F.)	YES
MAX. FRONT YARD COVERAGE	40% FRONT YARD (470 S.F.)	7.2% (662 S.F.)	YES	25.0% (300 S.F.)	YES	38.3% (450 S.F.)	YES
DRIVEWAY WIDTH	12.0 FEET	19.4 FEET	YES	12.0 FEET	YES	18.0 FEET	YES

PARKING SCHEDULE
(R.S.I.S. TABLE 4.4 PARKING REQUIREMENTS FOR RESIDENTIAL LAND USES)

UNITS	CRITERIA	REQUIRED	PROVIDED
(SINGLE-FAMILY DETACHED) LOT 13.011-3 BEDROOM	2.0 SPACES PER UNIT	2 SPACES	2 SPACES
(SINGLE-FAMILY DETACHED) LOT 13.012-5 BEDROOM	3.0 SPACES PER UNIT	3 SPACES	4 SPACES
TOTAL		5 SPACES	6 SPACES

PROPOSED PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT / CALIPER	ROOT
CC	2	<i>Carpinus caroliniana</i> "Firespire"	Firespire American hornbeam	2-1/2" CALIPER	B & B

GENERAL NOTES:-

- THE PREMISES SHOWN HEREON WERE SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS SUBJECT TO SUCH FACTS AS A CURRENT TITLE SEARCH MAY DISCLOSE. THE PROPERTY ALSO MAY BE SUBJECT TO THE FOLLOWING:
 - RIGHTS OF CLAIMS OF PARTIES IN POSSESSION SHOWN BY THE PUBLIC RECORD.
 - RIGHTS OF CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORD.
 - EASEMENTS OR CLAIMS OF EASEMENTS, SHOWN BY THE PUBLIC RECORD.
 - EASEMENTS OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORD.
- NO DETERMINATIONS HAVE BEEN MADE REGARDING UNDERGROUND UTILITIES WHICH MAY EXIST, UNLESS AS SHOWN.
- NO DETERMINATIONS HAVE BEEN MADE REGARDING HAZARDOUS MATERIAL CONDITIONS.
- NO DETERMINATIONS HAVE BEEN MADE REGARDING WETLANDS LOCATION.
- PROPERTY IS SITUATED IN FLOOD ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER A PLAN ENTITLED "TRIM" FLOOD INSURANCE RATE MAP, FOR THE CITY OF LINDEN COMMUNITY/PANEL NO. 340467 0033 F, MAP NO. 3403900033 EFFECTIVE DATE SEPTEMBER 2006, 2006.
- PLANIMETRIC FEATURES SHOWN HEREON HAVE BEEN DRAWN IN ACCORDANCE WITH FIELD SURVEY PERFORMED BY HARBOR CONSULTANTS, INC., JULY 8, 2020.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING DEPTHS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- TOPOGRAPHIC INFORMATION SHOWN HEREON HAVE BEEN DRAWN IN ACCORDANCE WITH FIELD SURVEY PERFORMED BY HARBOR CONSULTANTS, INC., JULY 8, 2020.

PLANTING NOTES

- (PER "ANSI Z-60.1-2014 (OR LATEST EDITION))
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
 - THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE LANDSCAPING PLANS.
 - ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT "AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMAN OR EQUIVALENT.
 - NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED.
 - ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
 - ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
 - WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN THREE VERTICAL LOCATIONS.
 - THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED IN THE FIELD. AT THAT TIME, THE LOCATIONS OF THE PLANTING MATERIAL SHALL BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
 - ALL PLANT MATERIAL SHALL BE TAGGED AT THE NURSERY, INDICATING BOTANICAL NAME, COMMON NAME, VARIETY AND SIZE. IT IS ASSUMED THAT ALL PLANT MATERIAL IS AVAILABLE IN CENTRAL NEW JERSEY.
 - ALL SHADE TREES TO BE TREE FORM AND CLEAR OF BRANCHES TO SEVEN FEET ABOVE GROUND.
 - ALL PLANTS SHALL BE INSTALLED AS PER DETAILS.
 - ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
 - TOPSOIL SHALL BE SANDY LOAM, FREE FROM SUBSOIL, STONES LARGER THAN ONE INCH, OR ANY UNDESIRABLE MATERIAL, CONTAIN 5% ORGANIC MATTER, PH 6-6.5. IT IS RECOMMENDED THAT A MINIMUM OF 6" OF TOP SOIL IS PROVIDED FOR ALL LAWN, PLANT PERENNIALS AND GROUNDCOVER IN 8" DEEP TOPSOIL BED CONSISTING OF 2/3 TOPSOIL, 1/3 HUMUS. PLANT BULBS IN NATURALIZED DRIFTS.
 - ALL PLANTS SHALL BE WATERED THOROUGHLY, TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
 - ALL PLANTS AND THE ENTIRE SHRUB BED SHALL RECEIVE A MINIMUM OF A 2 INCH LAYER OF SHREDED HARDWOOD BARK MULCH. MULCH ALL PINES TO WITHIN 3 INCHES OF BRANCH ENDS. OVER 10 MIL FABRIC EQUAL TO "WEEDBLOCK."
 - TREE STAKES AND GUY WIRES TO BE CHECKED AFTER FIRST YEAR ALONG WITH CONDITIONS OF PLANT MATERIAL. STAKES AND GUY WIRES SHALL BE REMOVED AFTER A ONE YEAR PERIOD.
 - TOPSOIL OR SEED ALL DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR STORAGE EQUIPMENT, WHETHER AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED.
 - THE FOLLOWING SEED MIXTURES SHALL BE USED WITHIN THE AREAS SPECIFIED: SEED @ 30 LBS PER ACRE; OPTIMUM SEEDING DATES: FEB 15TH TO APRIL 1, AND AUG 15 TO OCT 15
- LAWN AREA MIX:**
 30% Onyx Turf-Type Tall Fescue
 30% Montauk Turf-Type Tall Fescue
 10% Sonto Fa Turf-Type Tall Fescue
 30% Washington Kentucky Bluegrass
- SHOULD DISCREPANCIES OCCUR BETWEEN THE QUANTITY OF PLANTINGS SHOWN ON THE PLANTING SCHEDULE AND THE PLANS, THE NUMBER AS SHOWN ON THE PLANS SHOULD BE HELD.
 - ALL SHADE TREES MUST BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE EDGE OF ANY DRIVEWAY OR LIGHT POLE. NO TREES SHALL BE PLANTED CLOSER THAN TEN (10) FEET TO ANY UTILITY.
 - APPLICANT WILL OBTAIN A 2-YEAR MAINTENANCE BOND FOR ALL PLANTS/TREES IN THE CITY OF LINDEN RIGHT OF WAY.

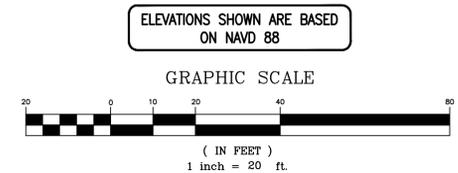
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 NO PART OF THIS DOCUMENT OR ANY INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF HARBOR CONSULTANTS, INC. IS PROHIBITED.

LEGEND

—+—	STREET SIGN	○	IRON BAR FOUND
●	CLEANOUT	□	MAILBOX
⊙	SANITARY MANHOLE	⊙	TREE
⊙	DRAINAGE MANHOLE	x 0.00	EXIST. SPOT ELEVATION
■	CATCH BASIN	- - -	EXISTING CONTOUR LINE
□	CATCH BASIN	- - -	GAS LINE
⊙	SOIL BORING	—	WATER LINE
⊙	GUY WIRE	⊙	GAS VALVE
⊙	UTILITY POLE	⊙	WATER VALVE
⊙	P.K. NAIL FOUND	⊙	FIRE HYDRANT
□	CONC. MONUMENT FOUND	⊙	LIGHT POST

CERTIFICATION:-
 I CERTIFY THAT THIS PLAN IS THE RESULT OF A FIELD SURVEY MADE ON JULY 8, 2020, BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE "STATE BOARD OF PROFESSIONAL ENGINEERS & LAND SURVEYORS."
 THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AT, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE.
 SUBJECT TO SUCH FACTS AS AN ACCURATE TITLE SEARCH MAY DISCLOSE.
 TO: KW HOME CREATIONS LLC
 17 ORCHARD PLACE
 CEDAR KNOLLS, NJ 07927
DESCRIPTION:-
 BEING LINDEN AND DESIGNATED AS LOTS 13.01 AND 13.02 IN BLOCK 203 OF THE CITY OF LINDEN TAX ASSESSMENT MAP.
 BEING MORE COMMONLY KNOWN AS NO. 816 BALDWIN AVENUE CITY OF LINDEN, UNION COUNTY, NEW JERSEY

NOTES:-
 1. REFERENCE WAS MADE TO DEED BOOK 4648, PAGE 192
 2. AT THE REQUEST OF THE OWNERS, PROPERTY CORNERS WERE NOT SET AT THIS TIME.
 3. DIMENSIONS AS SHOWN ARE NOT INTENDED FOR THE CONSTRUCTION OF FENCES OR PERMANENT STRUCTURES.
 4. OFFSETS SHOWN ARE MEASURED FROM THE FRAME OF THE STRUCTURE PERPENDICULAR TO THE PROPERTY LINE, UNLESS OTHERWISE NOTED.
 CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.



REV.	DATE	DESCRIPTION	CHK'D.	APP'VD



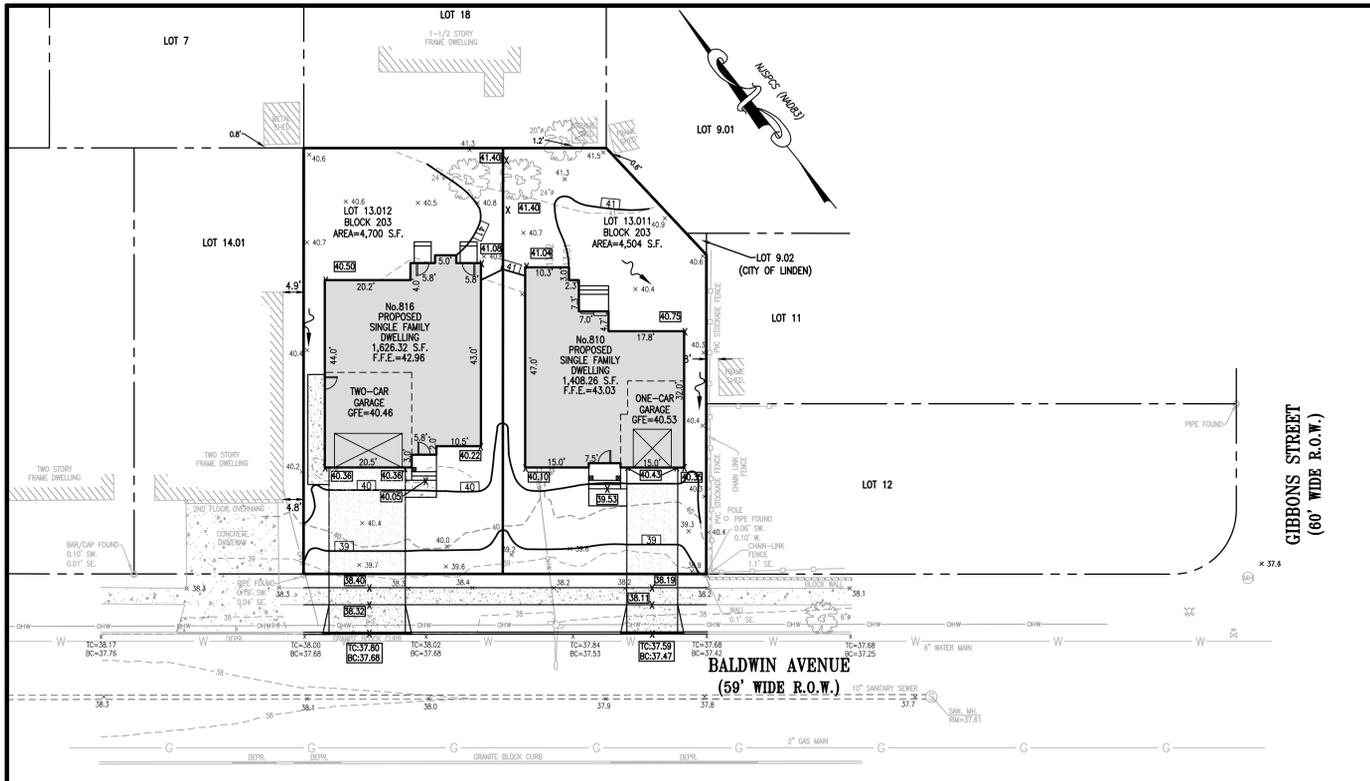
Harbor Consultants Inc.
Engineers & Surveyors
320 NORTH AVENUE EAST
CRANFORD, N.J. 07016
Phone (908) 276-2715 Fax (908) 709-1738
Email: info@hcicg.net

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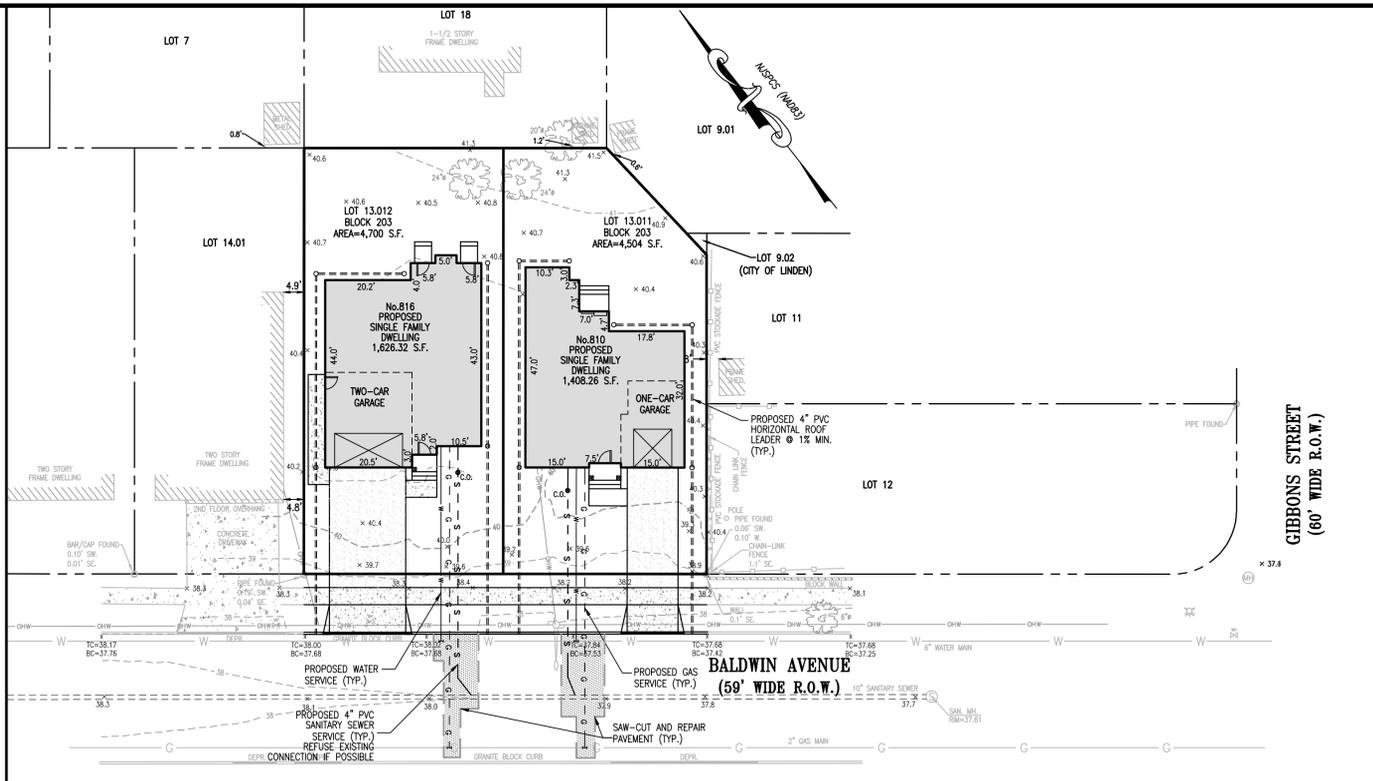
MINOR SUBDIVISION PLAN
EXIST. CONDITIONS & DEMO/LAYOUT & DIMENSIONING PLAN
 No. 816 BALDWIN AVENUE
 LOTS 13.01 & 13.02, BLOCK 203
 UNION COUNTY NEW JERSEY

VICTOR E. VINEGRA
PROFESSIONAL ENGINEER & LAND SURVEYOR
NEW JERSEY LICENSE NO. 34460

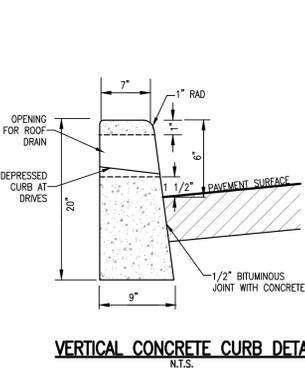
SCALE:	DATE:	DESIGNED BY:	DRAWN BY:	WORK FILE:	CERTIFICATE OF AUTHORIZATION NO.:	PROJECT NO.:
1"=20'	08/14/2020	V.E.V.	S.P.	2020090_Exist&Demo&L	24GA27962100	2020090



GRADING PLAN
SCALE: 1"=20'

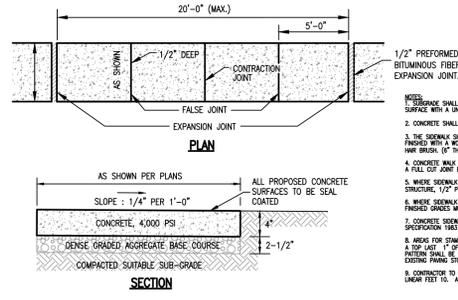


UTILITY PLAN
SCALE: 1"=20'

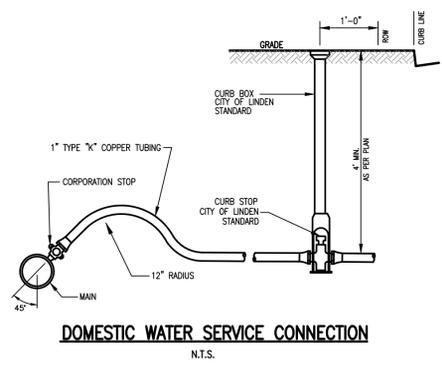


VERTICAL CONCRETE CURB DETAIL
N.T.S.

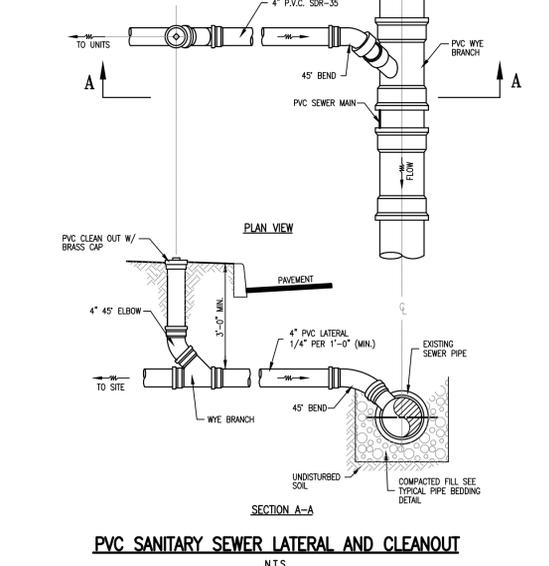
- NOTES:**
- SUBGRADE SHALL BE WELL DRAINED AND COMPACTED TO A FIRM SURFACE WITH A UNIFORM BEARING LOAD.
 - ALL FORMS FOR CURB AND GUTTER CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER.
 - CONCRETE SHALL BE AIR-ENTRAINED 4,000 P.S.I. STRENGTH ACCORDING TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION FOR 2001 AND SUPPLEMENTARY SPECIFICATIONS.
 - A FULL DEPTH TRANSVERSE EXPANSION JOINT IS TO BE CUT EVERY 10 FEET. JOINTS SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER, 1/2 INCH THICK, WHICH SHALL BE FLUSH WITH THE TOP AND FACE.
 - WHERE NECESSARY CONCRETE CURB SHALL HAVE A 4" ROUND TRANSVERSE OPENING TO ACCEPT ROOF DRAINS. OPENING MAY BE MADE BY THE INSERTION OF A CLOSED CONTAINER DURING CONSTRUCTION.
 - CONCRETE CURB AND GUTTER TO BE CURED AS PER NEW JERSEY STATE D.O.T. STANDARD SPECIFICATIONS 2001 SECTION 501.17 PAGE 500-28.



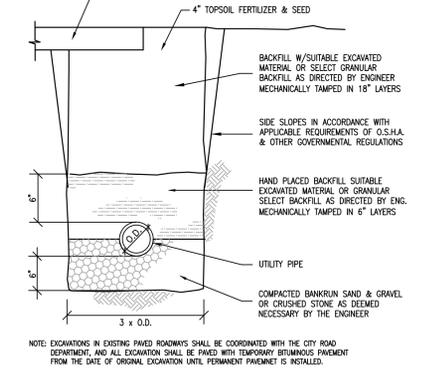
CONCRETE SIDEWALK DETAIL
N.T.S.



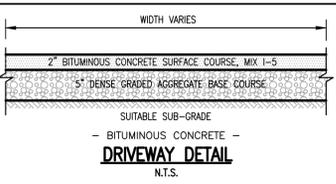
DOMESTIC WATER SERVICE CONNECTION
N.T.S.



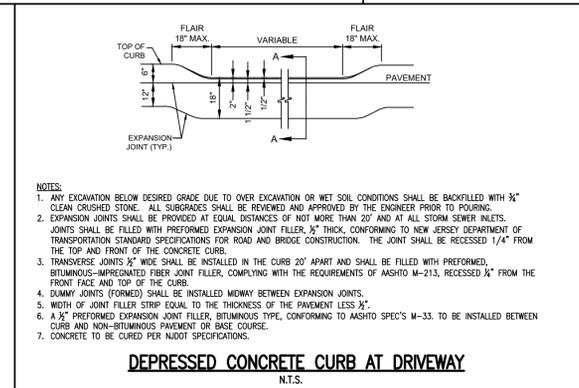
PVC SANITARY SEWER LATERAL AND CLEANOUT
N.T.S.



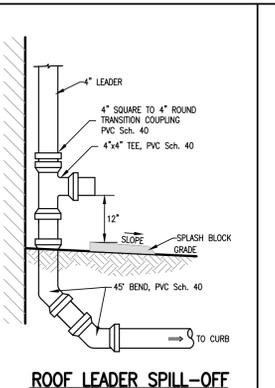
TYPICAL UTILITY TRENCH DETAIL
N.T.S.



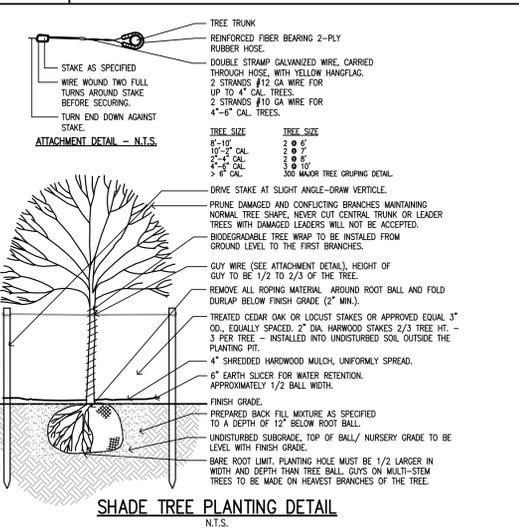
DRIVEWAY DETAIL
N.T.S.



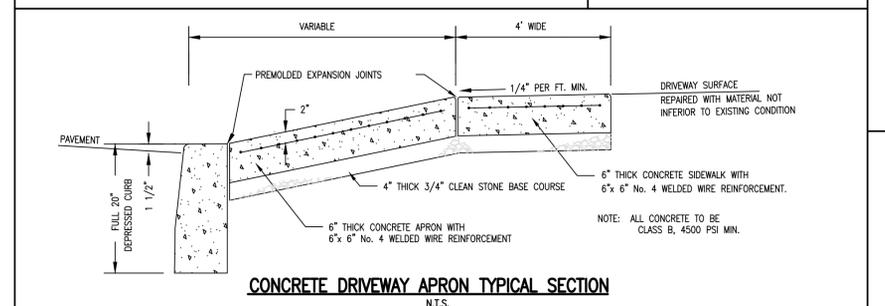
DEPRESSED CONCRETE CURB AT DRIVEWAY
N.T.S.



ROOF LEADER SPILL-OFF
N.T.S.



SHADE TREE PLANTING DETAIL
N.T.S.



CONCRETE DRIVEWAY APRON TYPICAL SECTION
N.T.S.

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1-800-272-1000
IT'S THE LAW
Dig Safely
NEW JERSEY ONE CALL
CONTRACTORS SHALL CALL 1-800-272-1000
MINIMUM THREE DAYS, MAXIMUM 10 DAYS NOTICE PRIOR TO BEGINNING EXCAVATION

LEGEND

STREET SIGN	IRON BAR FOUND
CLEANOUT	MAILBOX
SANITARY MANHOLE	STREET TREE
DRAINAGE MANHOLE	EXIST. SPOT ELEVATION
CATCH BASIN	EXISTING CONTOUR LINE
CATCH BASIN	GAS LINE
SOIL BORING	WATER LINE
GUY WIRE	GAS VALVE
UTILITY POLE	WATER VALVE
P.K. NAIL FOUND	FIRE HYDRANT
CONC. MONUMENT FOUND	LIGHT POST

ELEVATIONS SHOWN ARE BASED ON NAVD 88

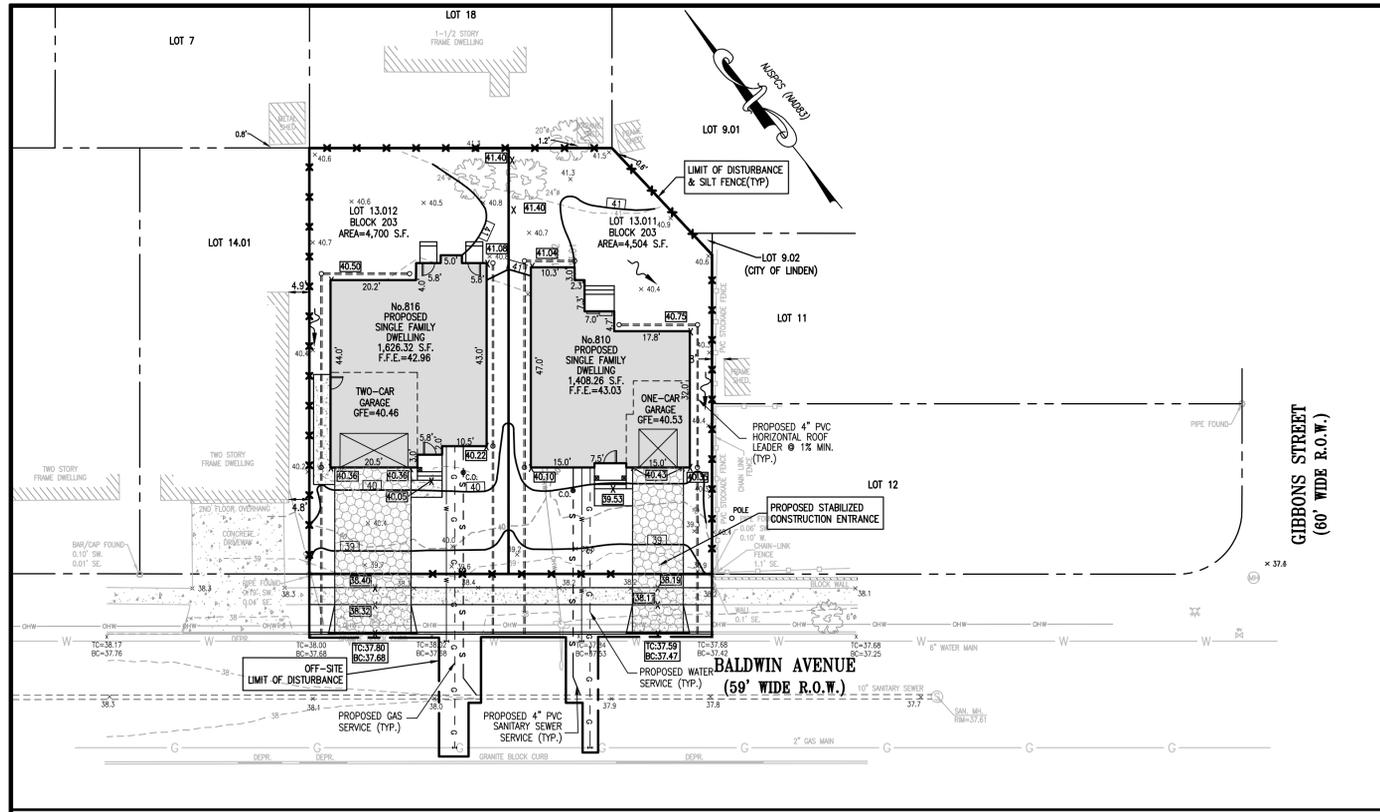
GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

Harbor Consultants Inc.
Engineers & Surveyors
320 NORTH AVENUE EAST
CRANFORD, N.J. 07016
Phone (908) 276-2715 Fax (908) 709-1738
Email: info@hcg.net

MINOR SUBDIVISION PLAN
GRADING, UTILITIES & CONSTRUCTION DETAILS PLAN
No. 816 BALDWIN AVENUE
LOTS 13.01 & 13.02, BLOCK 203
CITY OF LINDEN UNION COUNTY NEW JERSEY

SCALE: 1"=20'
DATE: 08/14/2020
DESIGNED BY: V.E.V.
DRAWN BY: S.P.
WORK FILE: 2020090_G&U

CHECK'D, APP'VD
3
VICTOR E. VINEGRA
PROFESSIONAL ENGINEER & LAND SURVEYOR
NEW JERSEY LICENSE NO. 34460
CERTIFICATE OF AUTHORIZATION NO. 24627962100
PROJECT NO. 2020090



SOIL EROSION & SEDIMENT CONTROL PLAN
SCALE: 1"=20'

TEMPORARY & PERMANENT SEEDING SCHEDULE
(REVISED PER "NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL," 7th EDITION, DECEMBER 2017)

- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION, REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT SOIL COMPACTED, THE AREA MUST BE RETILED AND FIRMED AS ABOVE.
- TEMPORARY SEEDING SHALL CONSIST OF SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1,000 SF OR GRASS RYE APPLIED AT A RATE OF 2 LBS. PER 1,000 SF. TEMPORARY SEEDING TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING. IF ANY SERIOUS EROSION PROBLEM OCCURS, THE ERODED AREAS SHALL BE PREPARED AND STABILIZED WITH A MULCH AS INDICATED IN NOTE 6.
- PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL. SITE CONTAINS SOIL, HALEDON-URBAN LAND-HARBOROUGH COMPLEX, 0 TO 8 PERCENT SLOPES CLASSIFIED AS "SOMWHAT POORLY DRAINED" AS PER NJ WEB SOIL SURVEY USA.
PLANTING MIXTURE TO BE USED: MIX-16 (RESIDENTIAL/COMMERCIAL USE)
ROUGH BLUEGRASS @ 90 lb./Ac.
STRONG CREEPING RED FESCUE @ 130 lb./Ac.
SITE IS LOCATED WITHIN USDA PLANT HARDINESS ZONE 6b, PLANTING DATES:
ACCEPTABLE DATE: 3/01 TO 4/30
ACCEPTABLE DATE: 5/01 TO 6/14 (**)
OPTIMAL DATE: 8/15 TO 10/15
(**) SUMMER SEEDINGS SHOULD ONLY BE CONDUCTED WHEN THE SITE IS IRRIGATED, MIXES INCLUDING WHITE CLOVER REQUIRE THAT AT LEAST 50 SEEDS OF GROUND COVER REMAIN AFTER SEEDING TO ENSURE ESTABLISHMENT BEFORE SEEDING CONDITIONS.
- PERMANENT SEEDING TO BE APPLIED BY CYCLONE SPREADER OR OTHER APPROVED METHOD, AT A RATE OF 150#/ACRE. SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 6.
- FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-20-10 APPLIED AT A RATE OF 11lb/1000 SF OR AS DETERMINED BY SOIL TESTS. LIMESTONE FOR TEMPORARY SEEDING SHALL BE APPLIED AT A RATE OF 90#/1000SF. LIMESTONE FOR PERMANENT SEEDING SHALL BE APPLIED AT A RATE OF 135#/1000 SF.
- IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH.
- ALL SEEDED AREAS SHALL BE MULCHED. MULCH SHALL CONSIST OF SMALL GRASS STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER, LIQUID MULCH BINDER, OR AN APPROVED EQUAL AT A RATE OF 70-90 LBS. PER 1000 SF.

STANDARD FOR STABILIZATION WITH VEGETATIVE COVER
(REVISED PER "NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL," 7th EDITION, JULY 2017)
METHODS AND MATERIALS

- SITE PREPARATION**
 - GRADE, AS NEEDED AND FEASIBLE, TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
 - IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
 - TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNTESTED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
 - INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
- SEEDBED PREPARATION**
 - UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 1.1 POUNDS PER 1,000 SQUARE FEET OF 0-10-0 OR EQUIVALENT WITH 20% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 4 WEEKS AFTER SEEDING.
 - WORK LIMES AND FERTILIZER INTO THE TOPSOIL AS NEARLY PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
 - HIGH ACID PRODUCING SOILS HAVING A PH OF 4 OF LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS OF SPECIFIC REQUIREMENTS.
- SEEDING**
 - SELECT A MIXTURE FROM TABLE 4-3 OR USE A MIXTURE RECOMMENDED BY RUTGERS CO-OPERATIVE EXTENSION OR NATURAL RESOURCES CONSERVATION SERVICE WHICH IS APPROVED BY THE SOIL CONSERVATION DISTRICT. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED.
 - SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. WHEN PERMANENT VEGETATION IS ESTABLISHED, SEEDING RATES MAY BE ADJUSTED TO REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS BOX VEGETATIVE COVERAGE WITH THE SPECIFIED SEED MIXTURE FOR THE SEEDING AREA AND MOWED ONCE.
 - WARM-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES. GENERALLY 85°F AND ABOVE. SEE TABLE 4-3 MIXTURES 1 TO 7. PLANTING RATES FOR WARM-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY SOIL TESTS.
 - COLD-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 85°F. MANY GRASSES BECOME ACTIVE AT 65°F. SEE TABLE 4-3 MIXTURES 8 TO 20. ADJUSTMENT OF PLANTING RATES TO COMPENSATE FOR THE AMOUNT OF PLS IS NOT REQUIRED FOR COLD-SEASON GRASSES.
 - CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDING OR OUTPACKED SEEDING, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE ADJUSTED TO ACCORD WITH SOIL CONDITIONS.
 - AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER INFILTRATION AT THE SITE WILL BE MAXIMIZED.
 - HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRINKLING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. MULCH SHALL BE APPLIED BY A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4-MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.
- MULCHING**

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION THROUGHOUT CONSTRUCTION SOIL EROSION SHALL BE DEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

 - STRAW OF HAY, UNWEED SMALL GRASS STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRUMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (CRUMPER OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CRUMPER-BINDERS MUST NOT CRIMP THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWN DUE TO THE PRESENCE OF WEED SEED.
 - APPLICATION - SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE EACH AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
 - ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS:
 - PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS WITH 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CROSS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 - MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
 - CRUMPER (MULCH ANCHORING COULTER TOOL) - A TRACTOR-DRAWN IMPLEMENT, SOMETHING LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRANSPORTED BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
 - LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH.

GENERAL NOTES:

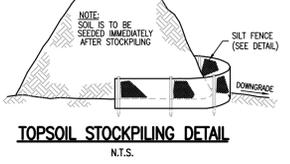
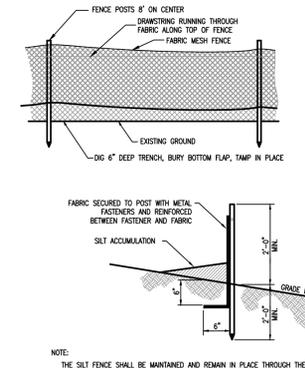
- SOMERSET-UNION CONSERVATION DISTRICT SOMERSET COUNTY 4-H CENTER 308 MILLTOWN ROAD BRIDGEWATER, NJ 08807 (908)-526-2701
- OWNER/APPLICANT: FW HOME CREATIONS, LLC 17 ORCHARD PLACE CEDAR KNOLLS, NJ 07927
- THIS PLAN IS ONLY TO BE USED AS A GUIDE TO THE IMPLEMENTATION OF SOIL EROSION CONTROL MEASURES. IT IS NOT TO BE USED FOR CONSTRUCTION. REFER TO GRADING & UTILITY PLAN AND SUPPLEMENTS THERETO.
- ALL ROADS AND MAILWAYS WILL BE SWEPT DAILY THROUGHOUT THE DURATION OF CONSTRUCTION.
- AREA WITHIN LIMIT OF DISTURBANCE 11,211 S.F. (0.257 ACRE)

SOIL EROSION AND SEDIMENT CONTROL NOTES

- SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- PERMANENT VEGETATION TO BE SEED OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCES OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- ANY STEEP SLOPES REEDED PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (I.E. SLOPES GREATER THAN 3:1).
- THE STANDARDS FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD OF 1 1/2" TO 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
- THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 72 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATION STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, IT SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- IN THAT N.J.S.A. 42:4-39 ET SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MANIPALITY.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
- UNFILTERED DRAINAGE IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DRAINAGE OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DRAINAGE MEASURES USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BEFORE STORM WATER OUTFALLS OR OFF SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE WITHIN THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. THE DISTRICT RESERVES THE RIGHT TO DETERMINE WHEN CERTIFICATION OF A NEW AND SEPARATE SOIL EROSION AND SEDIMENT CONTROL PLAN WILL BE REQUIRED FOR THESE ACTIVITIES.
- ALL SOIL STOCKPILES AREA TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #2.
- A UNIFORM APPLICATION OF TOPSOIL WILL BE APPLIED TO AN AVERAGE DEPTH OF 5.0 INCHES, WITH A MINIMUM OF 4.0 INCHES.

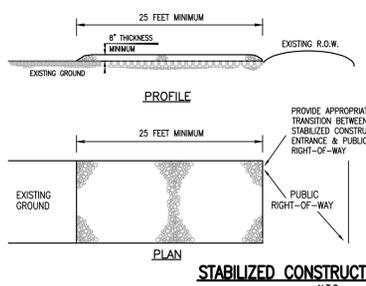
SEQUENCE OF CONSTRUCTION OPERATIONS

ACTIVITY	TIME PERIOD
1. Install silt fence.	1 Day
2. Install stabilized construction entrance.	1 Day
3. Demolish existing structures and associated improvements.	1 Week
4. Strip topsoil, stockpile and stabilize.	2 Days
5. Excavate and construct Foundation.	2 Month
6. Back fill Foundation, rough grade site and apply temporary seeding and or mulch as required.	3 Days
7. Begin Building construction.	1 Year
8. Connect underground utilities.	2 Week
9. Install services walkways and pave driveway.	3 Days
10. Finish grading site and apply permanent stabilization measures.	1 Week
11. Remove temporary soil erosion control measures.	1 Day
12. Complete Building and Landscaping.	2 Weeks



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CALL BEFORE YOU DIG
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IT'S THE LAW

NEW JERSEY ONE CALL
CONTRACTORS SHALL CALL 1-800-272-1000
MINIMUM THREE DAYS, MAXIMUM 10 DAYS NOTICE PRIOR TO BEGINNING EXCAVATION

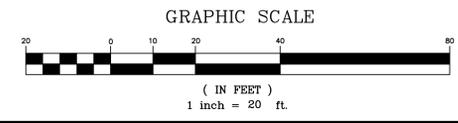


- STABILIZED CONSTRUCTION ENTRANCE SPECIFICATIONS**
- STONE SIZE - USE ASTM C-33, SIZES NO. 2 OR 3, USE CRUSHED STONES.
 - LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN 8 INCHES.
 - WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS, BUT IN NO CASE LESS THAN 15' WIDE.
 - WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATER COURSE THROUGH USE OF SAND BAGS, GRAPES, BOARDS, OR OTHER APPROVED METHODS.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANING OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
 - AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE SHALL BE INSTALLED BEFORE INSTALLATION.

LEGEND

STREET SIGN	○	IRON BAR FOUND	○
CLEANOUT	□	MAILBOX	□
STREET MANHOLE	⊗	STREET TREE	⊗
DRAINAGE MANHOLE	⊗	EXIST. SPOT ELEVATION	x 0.00
CATCH BASIN	— 10 —	EXISTING CONTOUR LINE	— 10 —
CATCH BASIN	— 0 —	GAS LINE	— 0 —
SOIL BORING	— W —	WATER LINE	— W —
GUY WIRE	⊗	GAS VALVE	⊗
UTILITY POLE	⊗	WATER VALVE	⊗
P.K. NAIL FOUND	⊗	FIRE HYDRANT	⊗
CONC. MONUMENT FOUND	⊗	LIGHT POST	⊗

ELEVATIONS SHOWN ARE BASED ON NAVD 88



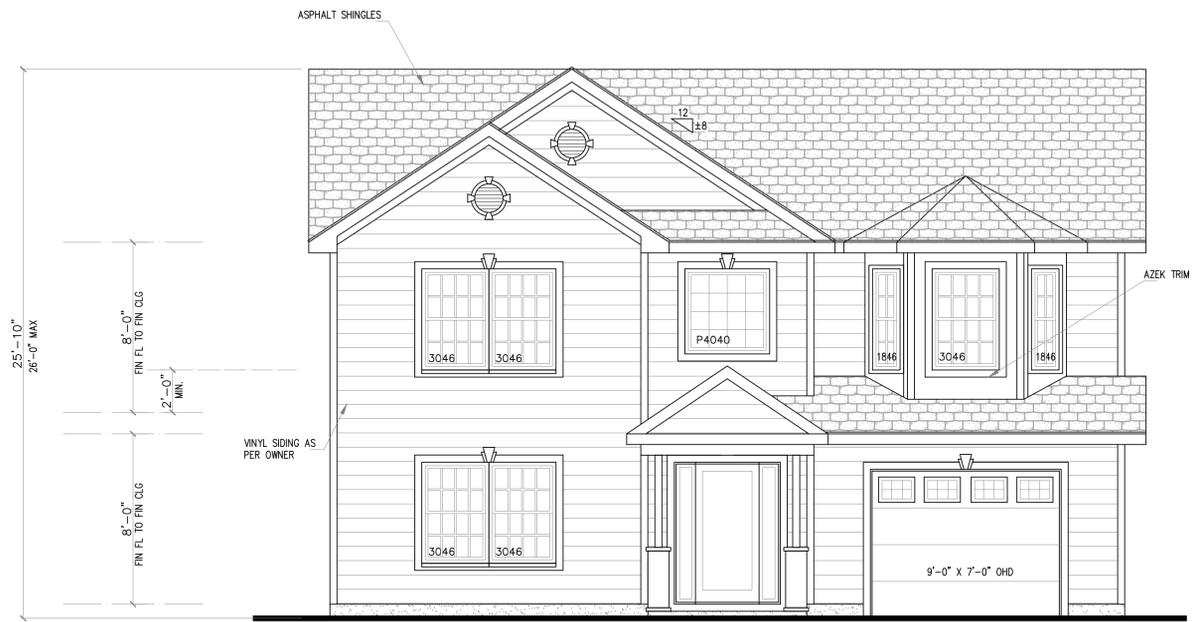
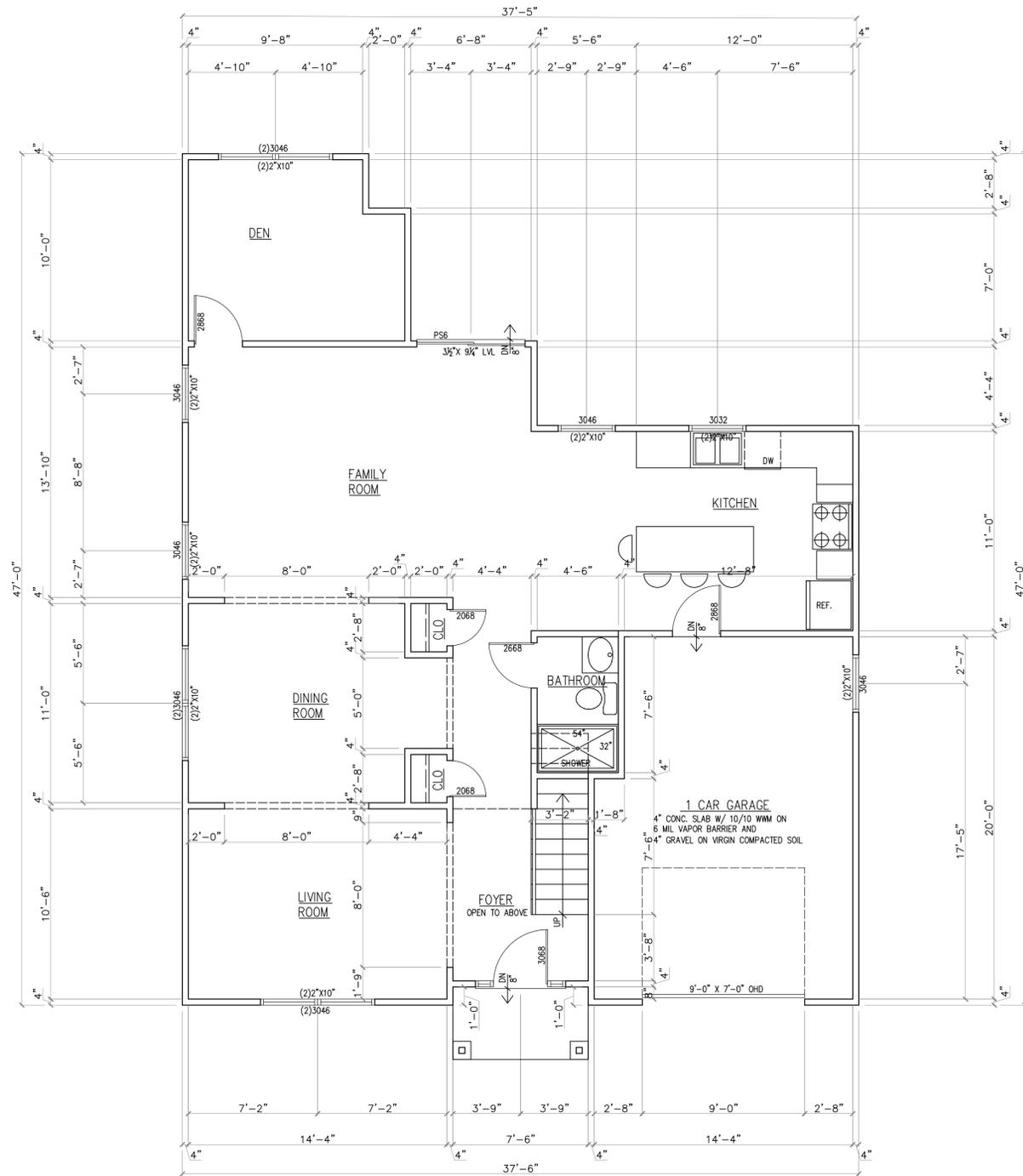
Harbor Consultants Inc.
Engineers & Surveyors
320 NORTH AVENUE EAST
CRANFORD, N.J. 07016
Phone (908) 276-2715 Fax (908) 709-1738
Email: info@hcgic.net

MINOR SUBDIVISION PLAN
SOIL EROSION & SEDIMENT CONTROL PLAN
No. 816 BALDWIN AVENUE
LOTS 13.01 & 13.02, BLOCK 203
CITY OF LINDEN UNION COUNTY NEW JERSEY

VICTOR E. VINEGRA
PROFESSIONAL ENGINEER & LAND SURVEYOR
NEW JERSEY LICENSE NO. 34460

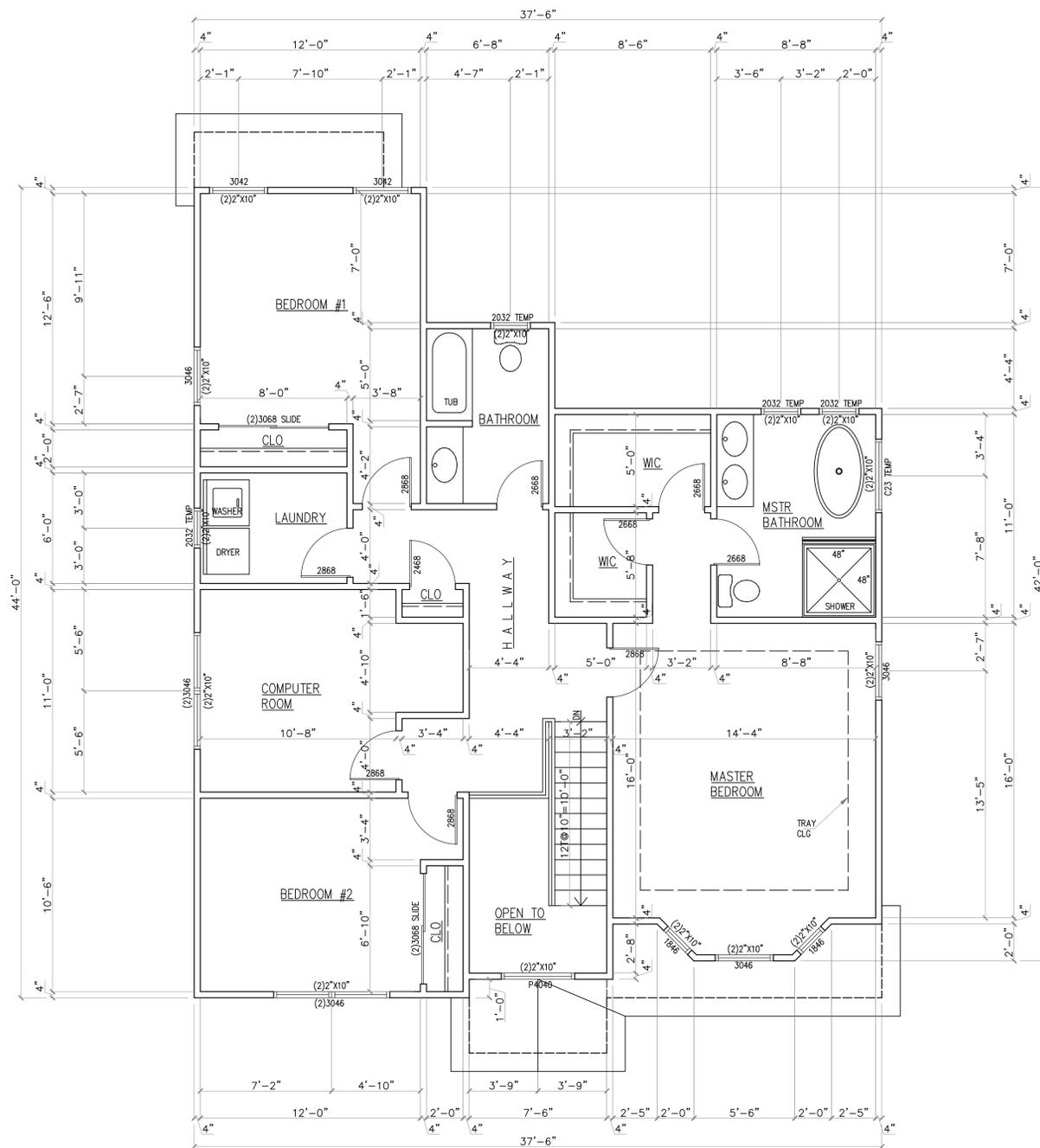
SCALE:	DATE:	DESIGNED BY:	DRAWN BY:	WORK FILE:	CERTIFICATE OF AUTHORIZATION NO.:
1"=20'	08/14/2020	V.E.V.	S.P.	2020090_SESC	246247962100

PROJECT NO.: 2020090

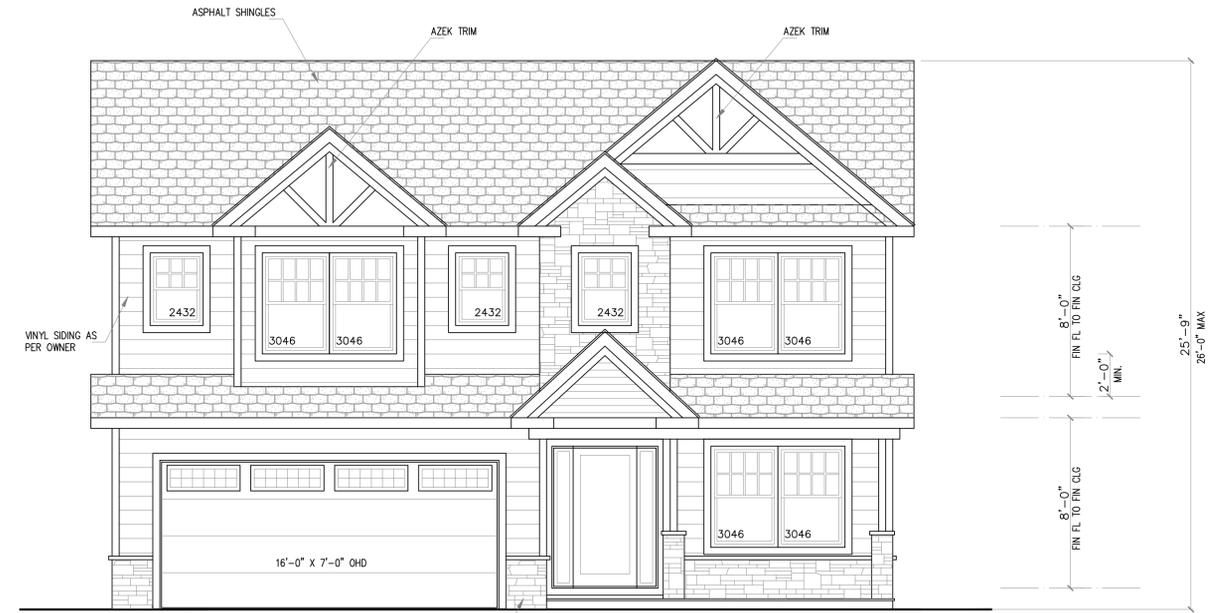
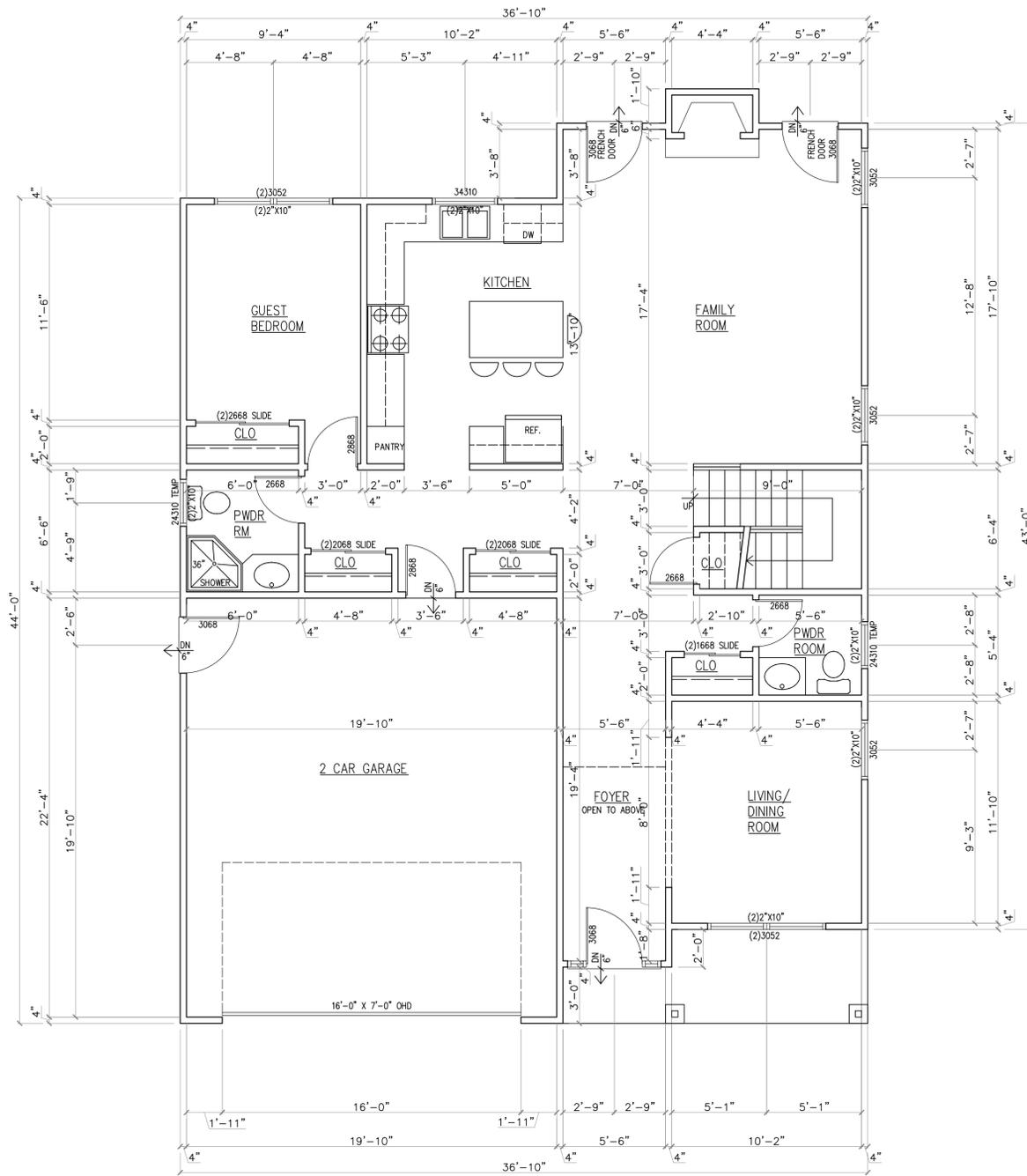


GENERAL INFORMATION	
ADDRESS:	810 BALDWIN ST., LINDEN, N.J.
CONSTRUCTION TYPE	V-B
USE GROUP	R-5
AREA :	
- FIRST FLOOR :	1,122 SQ FT
- SECOND FLOOR :	1,245 SQ FT
	TOTAL : 2,367 SQ FT
- GARAGE :	286 SQ FT
CODE USED :	INTERNATIONAL RESIDENTIAL CODE IRC - 2018 NEW JERSEY EDITION.

		architect ANDREW PODBEREZNAK R.A. 11 High Point Drive Springfield N.J. 07081 Tel: 973-493-9476 Fax: 908-277-6007 N.J. Lic # 12241	
Date	05.07.20	Project Title	NEW HOUSE
Scale	AS NOTES		810 BALDWIN AVE., LINDEN, NJ
Drawn by	J.D.	Drawing Title	FIRST FLOOR PLAN, FRONT ELEVATION, RIGHT SIDE ELEVATION
Checked by	A.P.	ZONING REVIEW	OF 2



 architect ANDREW PODBERZNIAK R.A. 11 High Point Drive Springfield N.J. 07081		Tel: 973-493-9476 Fax: 908-277-6007 N.J. Lic # 12241	
		Date 05.07.20	Project Title NEW HOUSE 810 BALDWIN AVE., LINDEN, NJ
Scale AS NOTES		Drawing Title SECOND FLOOR PLAN, REAR ELEVATION, LEFT SIDE ELEVATION	
Drawn by J.D.		ZONING REVIEW	
Checked by A.P.		OF 2	



GENERAL INFORMATION	
ADDRESS:	816 BALDWIN ST., LINDEN, N.J.
CONSTRUCTION TYPE	V-B
USE GROUP	R-5
AREA :	
- FIRST FLOOR :	1,145 SQ FT
- SECOND FLOOR :	1,473 SQ FT
	TOTAL : 2,618 SQ FT
- GARAGE :	471 SQ FT
CODE USED :	INTERNATIONAL RESIDENTIAL CODE IRC - 2018 NEW JERSEY EDITION.

 <p>ANDREW PODBEREZNAK R.A. 11 High Point Drive Springfield N.J. 07081 Tel: 973-493-9476 Fax: 908-277-6007 N.J. Lic # 12241</p>		Job #	20-092
		Dwg. #	A - 1
Date	05.07.20	Project Title	NEW HOUSE 816 BALDWIN AVE., LINDEN, NJ
Scale	AS NOTES	Drawn by	J.D.
Checked by	A.P.	Drawing Title	FIRST FLOOR PLAN, FRONT ELEVATION, RIGHT SIDE ELEVATION
		ZONING REVIEW	OF 2

