

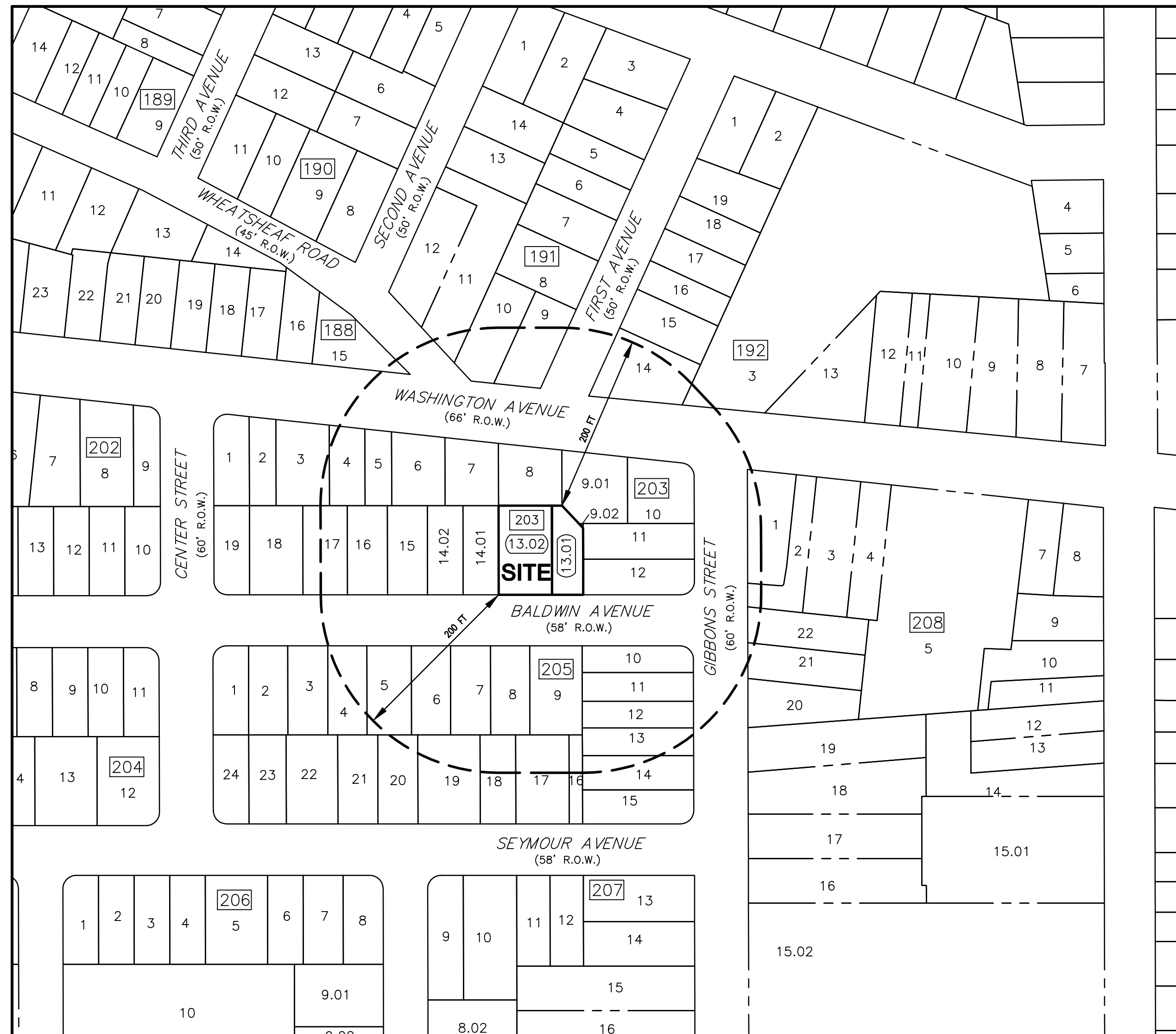
# MINOR SUBDIVISION PLAN

## No. 816 BALDWIN AVENUE LOTS 13.01 & 13.02, BLOCK 203 TAX MAP SHEET No. 45

CITY OF LINDEN UNION COUNTY NEW JERSEY

### LIST PROPERTY OWNERS & UTILITIES 200 FEET

BLOCK & LOT	PROPERTY LOCATION	OWNER/MAIL ADDRESS
188 15	840 WASHINGTON AVE	SUAREZ, EVELYN - SUAREZ, MIKE 840 WASHINGTON AVE Linden, NJ 07036
191 9	812 WASHINGTON AVE	PIERRE, VIDOR - ROMULUS, MARIE 812 WASHINGTON AVE Linden, NJ 07036
191 10	816 WASHINGTON AVE	MOLANO, MARIA 816 WASHINGTON AVE Linden, NJ 07036
191 11	810 WHEATSHEAF RD	SZMANSKI, KAROL & KAZMERA 810 WHEATSHEAF RD Linden, NJ 07036
192 14	320 2ND AVE	IBRAHIM, OLASEN 320 2ND AVE Linden, NJ 07036
203 3	843 WASHINGTON AVE	NAWAZ, SAMIYA - NAWAZ, ADIL 843 WASHINGTON AVE Linden, NJ 07036
203 4	839 WASHINGTON AVE	PATEL, ASHOK C & JAYSHRI 839 WASHINGTON AVE Linden, NJ 07036
203 5	835 WASHINGTON AVE	RAINONE, ANNA - RAINONE, JOHN J 84-13 114TH ST Richmond Hill, NY 11418
203 6	831 WASHINGTON AVE	KF PROPERTY GROUP LLC 172 CYPRESS DR Columbia, NJ 07057
203 7	825 WASHINGTON AVE	PANDO, ISMAEL & ZULMA 825 WASHINGTON AVE Linden, NJ 07036
203 8	817 WASHINGTON AVE	BOYD, NUNICA 817 WASHINGTON AVE Linden, NJ 07036
203 9.01	811 WASHINGTON AVE	DAWKINS, EARL - SMITH, CONSTANCE A 811 WASHINGTON AVE Linden, NJ 07036
203 9.02	810 BALDWIN AVE REAR	CITY OF LINDEN 301 N WOOD AVE Linden, NJ 07036
203 10	139 E GIBBONS ST	MAUGHAM, MARY 1003 WHEATSHEAF RD Linden, NJ 07036
203 11	133 E GIBBONS ST	PORRAS, ABEL & MILAGROS 133 E GIBBONS ST Linden, NJ 07036
203 12	117 E GIBBONS ST	BUON, FRED & LUCY 117 E GIBBONS ST Linden, NJ 07036
203 14.01	820 BALDWIN AVE	PRINCIPATO, FRANK & CATHEEN 820 BALDWIN AVE Linden, NJ 07036
203 14.02	824 BALDWIN AVE	NUNEZ, EDDY A & RAMONA K CABRAL 824 BALDWIN AVE Linden, NJ 07036
203 15	832 BALDWIN AVE	TURON, DANUTA & WOJCIECH 40 STILES RD Norron, NJ 07059
203 16	836 BALDWIN AVE	WALTMAN, LINDA 836 BALDWIN AVE Linden, NJ 07036
203 17	840 BALDWIN AVE	GOMEZ, A - HERNANDEZ, R - GOMEZ, S 840 BALDWIN AVE Linden, NJ 07036
205 3	839 BALDWIN AVE	SAKSON, JEANETTE D 839 BALDWIN AVE Linden, NJ 07036
205 4	837 BALDWIN AVE	GARCIA, CARLOS 837 BALDWIN AVE Linden, NJ 07036
205 5	831 BALDWIN AVE	RAMOS, MARIA 831 BALDWIN AVE Linden, NJ 07036



PROJECT AREA  
1"=100'

PREPARED AUGUST 2020

FOR

KW HOME KREATION LLC

17 ORCHARD PLACE  
CEDAR KNOLLS, NJ 07927

### CERTIFICATION OF APPROVAL

APPROVED BY THE PLANNING BOARD  
OF THE CITY OF LINDEN

CHAIRMAN DATE

SECRETARY DATE

ENGINEER DATE

APPLICANT/OWNER  
KW HOME KREATIONS LLC  
17 ORCHARD PLACE  
CEDAR KNOLLS, N.J. 07927

### LIST PROPERTY OWNERS & UTILITIES 200 FEET

BLOCK & LOT	PROPERTY LOCATION	OWNER/MAIL ADDRESS
205 6	827 BALDWIN AVE	JONES, KENNETH - MOHRING, MELISSA 827 BALDWIN AVE Linden, NJ 07036
205 7	823 BALDWIN AVE	MARPLES, SUSAN 823 BALDWIN AVE Linden, NJ 07036
205 8	819 BALDWIN AVE	RUSSO, JAMES JR & MARILYN 819 BALDWIN AVE Linden, NJ 07036
205 9	815 BALDWIN AVE	WNEK, K - WNEK, WF - WNEK, MJ 16 BC FOXWOOD DR MORRIS PLAINS, NJ 07950
205 10	115 E GIBBONS ST	CALAVANO, JAMES - CALAVANO, JOSEPH 115 E GIBBONS ST Linden, NJ 07036
205 11	113 E GIBBONS ST	RIVADENERA, ANTHONY 113 E GIBBONS ST Linden, NJ 07036
205 12	111 E GIBBONS ST	ROJAS, RONALD 111 E GIBBONS ST Linden, NJ 07036
205 13	109 E GIBBONS ST	SILVA, LUIZ A 109 E GIBBONS ST Linden, NJ 07036
205 14	107 E GIBBONS ST	MELO, WALESKA S 107 E GIBBONS ST Linden, NJ 07036
205 15	101 E GIBBONS ST	WU, STANLY B 20 SCHEURMAN TERR Warren, NJ 07059
205 16	810 SEYMOUR AVE	MELO, WALESKA S 107 E GIBBONS ST Linden, NJ 07036
205 17	814 SEYMOUR AVE	TEZIK, STANLEY 814 SEYMOUR AVE Linden, NJ 07036
205 18	820 SEYMOUR AVE	DESAI, NIKETAN O & VASHALI N 820 SEYMOUR AVE Linden, NJ 07036
205 19	824 SEYMOUR AVE	CARR, JEAN E & JAMES T 824 SEYMOUR AVE Linden, NJ 07036
205 20	830 SEYMOUR AVE	FINGERLIN, RICHARD A JR & LINDSEY M 830 SEYMOUR AVE Linden, NJ 07036
208 1	849 BALDWIN AVE	LOUIS, G - LOUIS, W - DERVAL, MA 849 BALDWIN AVE Linden, NJ 07036
208 2	845 BALDWIN AVE	FAIRCHILD, PATRENA 845 BALDWIN AVE Linden, NJ 07036
208 20	830 SEYMOUR AVE	FINGERLIN, RICHARD A JR & LINDSEY M 830 SEYMOUR AVE Linden, NJ 07036
208 21	834 SEYMOUR AVE	FREITAS, DANIELLE - CAPECE, DEBRA 834 SEYMOUR AVE Linden, NJ 07036
208 22	840 SEYMOUR AVE	AMARI, PAUL B 840 SEYMOUR AVE Linden, NJ 07036

### PUBLIC UTILITIES AND OTHER AGENCIES TO BE NOTIFIED

NEW JERSEY AMERICAN WATER COMPANY, Inc.  
1341 NORTH AVENUE  
PLAINFIELD, NJ 07062  
ATTN: MICHAEL BANGE, MANAGER NETWORK OPERATIONS  
T: (908) 413-0186 MICHAEL.Bange@njwater.com

ELIZABETHTOWN GAS COMPANY  
520 GREEN LANE  
UNION, NJ 07083  
ATTN: GREGORY A. BALINT, DISTRIBUTION ENGINEER  
T: (908) 682-8321 gbalint@njgasc.com

PUBLIC SERVICE ELECTRIC & GAS COMPANY  
472 WESTON CANAL ROAD  
SOMERSET, NJ 08873  
ATTN: JOSEPH DEPINTO-JOSEPH DISTRIBUTION ENGINEER  
T: (732) 443-3465

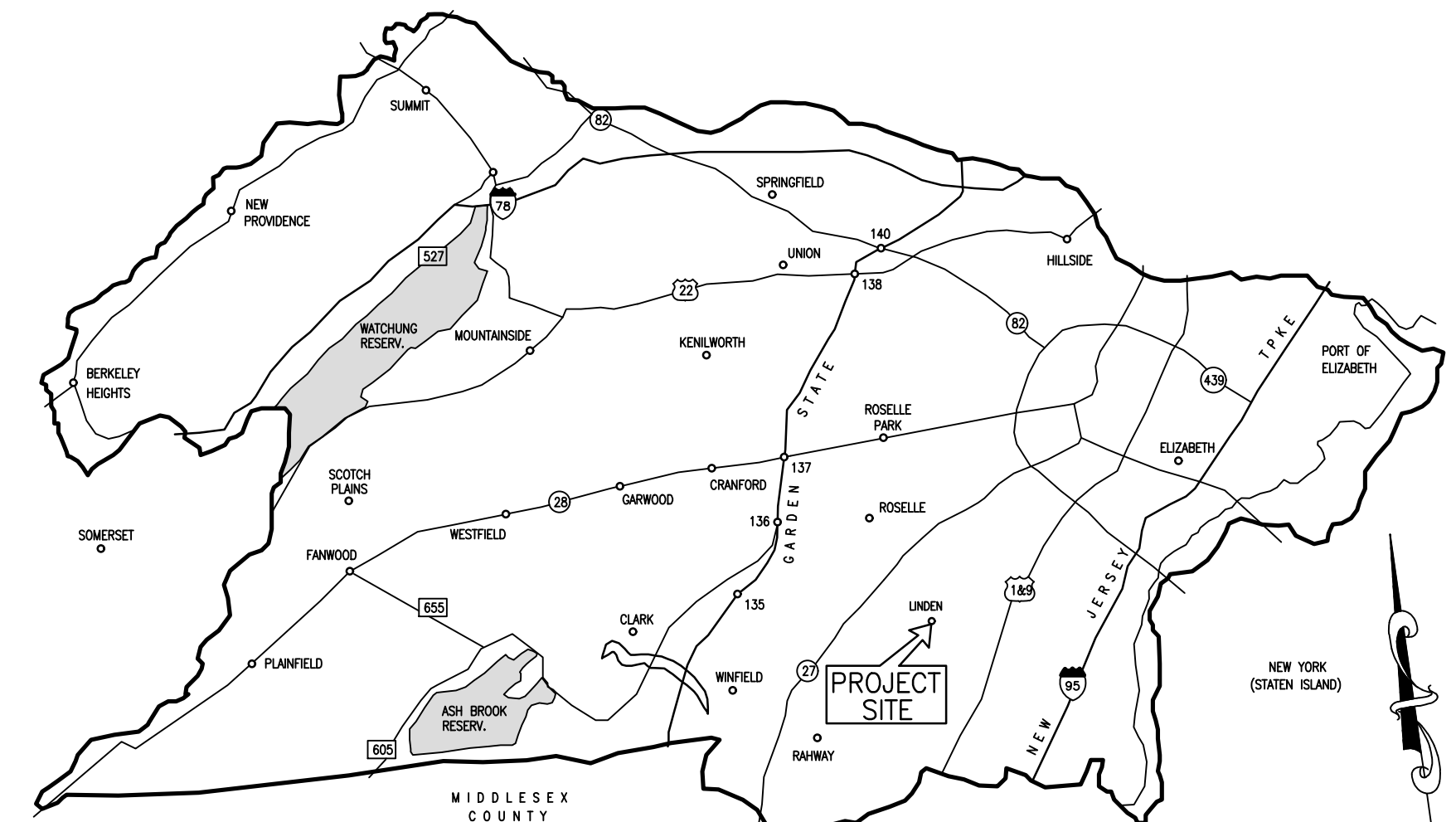
UNION TOWNSHIP DEPT. OF PUBLIC WORKS  
1 SANDWICH PLAZA  
UNION, NJ 07083  
ATTN: ROBERT CALDERONE  
T: (908) 686-1922

SUNOCO PIPELINE L.P.  
RIGHT OF WAY DEPARTMENT  
525 FRITZTOWN ROAD  
SPRING SPRING, PA 19068  
ATTN: SUSAN ERICKSON  
T: (610) 670-3266

COMCAST CABLEVISION  
800 RAINWAY AVENUE  
UNION, NJ 07083  
ATTN: GEORGE PALTEA  
George.Paltea@comcast.com  
T: (908) 851-8858

VERIZON COMMUNICATION  
280 WEST MT. PLEASANT AVENUE  
LINDEN, NJ 07036  
ATTN: ROBERT F. OYCO@verizon.com  
T: (973) 422-9334

CENTURY LINK  
100 CENTER STREET  
CLINTON, NJ 08809  
SPRING SPRING, PA 19068  
ATTN: JOHN CESAR  
T: (908) 735-3589

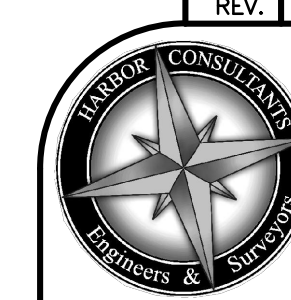


UNION COUNTY KEY MAP  
N.T.S.

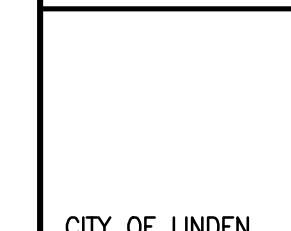
### SHEET INDEX

SHEET No.	DESCRIPTION	PREPARED	LAST REVISED
1	COVER SHEET	08/14/2020	
2	EXISTING CONDITIONS, DEMOLITION, LAYOUT & DIMENSIONING PLAN	08/14/2020	
3	GRADING, UTILITIES & CONSTRUCTION DETAILS PLAN	08/14/2020	
4	SOIL EROSION & SEDIMENT CONTROL PLAN	08/14/2020	

ARCHITECTURAL PLANS PREPARED BY: ANDREW PODBEREZNIK R.A.  
11 HIGH POINT DRIVE  
SPRINGFIELD, NJ 07081  
TEL: 973-493-9476



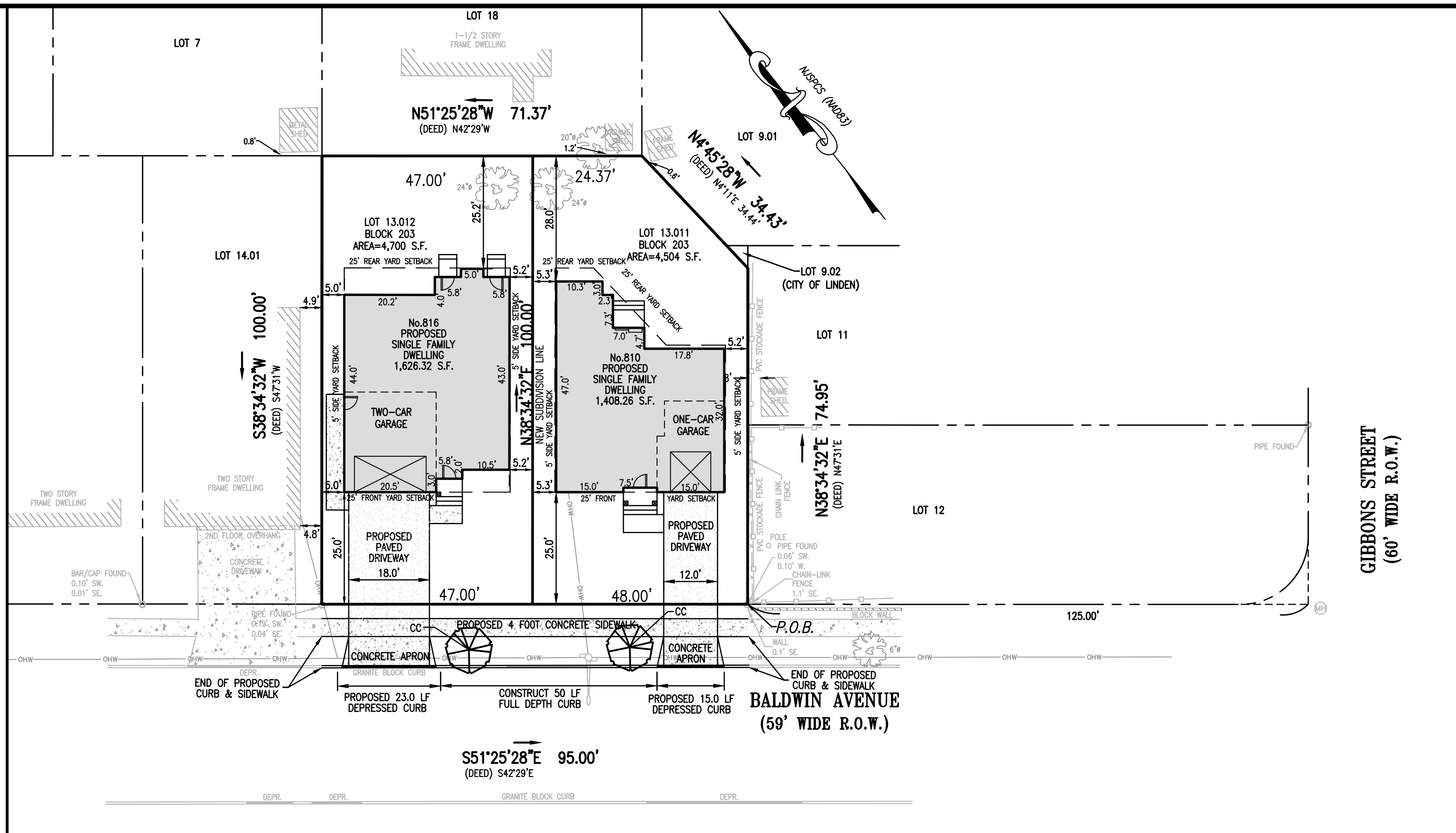
**Harbor Consultants Inc.**  
Engineers & Surveyors  
320 NORTH AVENUE EAST  
CRANFORD, N.J. 07016  
Phone (908) 276-2715 Fax (908) 709-1738  
Email: info@hcieg.net



MINOR SUBDIVISION PLAN  
COVER SHEET  
No. 816 BALDWIN AVENUE  
LOTS 13.01 & 13.02, BLOCK 203  
CITY OF LINDEN UNION COUNTY NEW JERSEY

SCALE: AS-SHOWN DATE: 08/14/2020 DESIGNED BY: V.E.V. DRAWN BY: S.P. WORK FILE: 2020090\_COVER CERTIFICATE OF AUTHORIZATION No. 24GA27962100 PROJECT No. 2020090

**VICTOR E. VINEGRA**  
PROFESSIONAL ENGINEER & LAND SURVEYOR  
NEW JERSEY LICENSE No. 34460



**LAYOUT & DIMENSIONING PLAN**  
SCALE: 1"=20"

PARKING SCHEDULE			
(R.S.I.S. TABLE 4.4 PARKING REQUIREMENTS FOR RESIDENTIAL LAND USES)			
UNITS	CRITERIA	REQUIRED	PROVIDED
(SINGLE-FAMILY DETACHED) LOT 13.0111-3 BEDROOM	2.0 SPACES PER UNIT	2 SPACES	2 SPACES
(SINGLE-FAMILY DETACHED) LOT 13.012-5 BEDROOM	3.0 SPACES PER UNIT	3 SPACES	4 SPACES
<b>TOTAL</b>		5 SPACES	6 SPACES

GENERAL NOTES:-

1. THE PREMISES SHOWN HEREON WERE SUBJECTED WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS SUBJECT TO SUCH FACTS AS A CURRENT TITLE SEARCH MAY DISCLOSE. THE PROPERTY ALSO MAY BE SUBJECT TO THE FOLLOWING:

- A). RIGHTS OF CLAIMS OF PARTIES IN POSSESSION SHOWN BY THE PUBLIC RECORD.
- B). RIGHTS OF CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORD.
- C). EASEMENTS OR CLAIMS OF EASEMENTS, SHOWN BY THE PUBLIC RECORD.
- D). EASEMENTS OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORD.

2. NO DETERMINATIONS HAVE BEEN MADE REGARDING UNDERGROUND UTILITIES WHICH MAY EXIST, UNLESS AS SHOWN.

3. NO DETERMINATIONS HAVE BEEN MADE REGARDING HAZARDOUS MATERIAL CONDITIONS.

4. NO DETERMINATIONS HAVE BEEN MADE REGARDING WETLANDS LOCATION.

5. PROPERTY IS SITUATED IN FIELD ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER A PLAN ENTITLED "TIRM" FLOOD INSURANCE RATE MAP, FOR THE CITY OF LINDEN COMMUNITY/PANEL NO. 340467 0033 F, MAP NO. 34039000337 EFFECTIVE DATE SEPTEMBER 20th, 2010.

6. PLANNETIC FEATURES SHOWN HEREON HAVE BEEN DRAWN IN ACCORDANCE WITH FIELD SURVEY PERFORMED BY HARBOR CONSULTANTS, INC., JULY 8, 2020.

7. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING UTILITIES, MATERIALS AND DEPTHS. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.

8. TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN DRAWN IN ACCORDANCE WITH FIELD SURVEY PERFORMED BY HARBOR CONSULTANTS, INC., JULY 8, 2020.

PLANTING NOTES

(PER "ANSI Z-60.1-2014 [OR LATEST EDITION])

9. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
  10. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWON ON THE LANDSCAPING PLAN.
  11. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT.
  12. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED.
  13. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS' ORIGINAL GRADE BEFORE DIGGING.
  14. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT GROUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
  15. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN THREE EQUAL PARTIAL LOCATIONS.
  16. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED IN THE FIELD. AT THAT TIME, THE LOCATIONS OF THE PLANTING MATERIAL SHALL BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
  17. ALL PLANT MATERIAL SHALL BE TAGGED AT THE NURSERY, INDICATING BOTANICAL NAME, COMMON NAME, VARIETY AND SIZE. IT IS ASSUMED THAT ALL PLANT MATERIAL IS AVAILABLE IN NEW JERSEY.
  18. ALL SHADE TREES TO BE TREE FORM AND CLEAR OF BRANCHES TO SEVEN FEET ABOVE GROUND.
  19. ALL PLANTS SHALL BE INSTALLED AS PER DETAILS.
  20. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
  21. TOPSOIL SHALL BE SANDY LOAM, FREE FROM SUBSOIL, STONES LARGER THAN ONE INCH, OR ANY UNDESIRABLE MATERIAL, CONTAIN 5% ORGANIC MATTER, pH=6.3-7.4. IT IS RECOMMENDED THAT A MINIMUM OF 4" OF TOP SOIL BE PROVIDED FOR ALL LAWN, PLANT PERENNIALS AND GROUNDCOVER IN 4" DEEP TOPSOIL BEDS CONSISTING OF 2/3 TOPSOIL, 1/3 HUMUS, PLANT BULBS IN NATURALIZED DRIFTS.
  22. ALL PLANTS SHALL BE WATERED THOROUGHLY, TIMES DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
  23. ALL PLANTS AND THE ENTIRE SHRUB BED SHALL RECEIVE A MINIMUM OF A 2" INCH LAYER OF SHREDED HARDWOOD BARK MULCH. MULCH ALL PINES TO WITHIN 3 INCHES OF BRANCH ENDS OVER 10 MIL FABRIC CUILT TO "NEEDLEBLOK".
  24. TREE STAKES AND GUY WIRES TO BE CHECKED AFTER FIRST YEAR TOLG ALOING WITH CONDITIONS OF PLANT MATERIAL. STAKES AND GUY WIRES SHALL BE REMOVED AFTER A ONE YEAR PERIOD.
  25. THE PLANTS OR SOIL AT DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR STORAGE EQUIPMENT, WHETHER AREAS ARE SHOWN ON THE LANDSCAPING PLAN, CONTRACTOR TO FELD VERIFY AREAS OF SEED.
  26. ALL SOILING SEED MIXTURES SHALL BE USED WITHIN THE AREAS SPECIFIED: SEED 30 LBS PER ACRE; OPTIMUM SEEDING DATES: FEB 15TH TO APRIL 1, 1981, AND AUGUST 15 TO OCT 15
- LAWN AREA MIX:**
- 30% Onyx Turf-Type Tall Fescue
  - 30% Montauk Turf-Type Tall Fescue
  - 10% Sorato Fe Turf-Type Tall Fescue
  - 30% Washington Kentucky Bluegrass
9. SHOULD DISCREPANCIES OCCUR BETWEEN THE QUANTITY OF PLANTINGS SHOWN ON THE PLANTING SCHEDULE AND THE PLANS, THE NUMBER AS SHOWN ON THE PLANS SHOULD BE HELD.
  20. ALL SHADE TREES MUST BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE EDGE OF ANY DRIVEWAY OR LIGHT POLE. NO TREES SHALL BE PLANTED CLOSER THAN TEN (10) FEET TO ANY UTILITY.
  21. APPLICANT WILL OBTAIN A 2 YEAR MAINTENANCE BOND FOR ALL PLANTS/TREES IN THE CITY OF LINDEN RIGHT OF WAY.

LAWN AREA MIX:  
30% Onyx Turf-Type Tall Fescue  
30% Montauk Turf-Type Tall Fescue  
10% Santa Fe Turf-Type Tall Fescue  
30% Washington Kentucky Bluegrass

9. SHOULD DISCREPANCIES OCCUR BETWEEN THE QUANTITY OF PLANTINGS SHOWN ON THE PLANTING SCHEDULE AND THE PLANS, THE NUMBER AS SHOWN ON THE PLANS SHOULD BE HELD.

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11. APPLICANT WILL OBTAIN A 2-YEAR MAINTENANCE BOND FOR ALL PLANTS/TREES IN THE CITY OF LINDEN RIGHT OF WAY.

**Harbor Consultants Inc.**  
Engineers & Surveyors  
320 NORTH AVENUE EAST  
CRANFORD, N.J. 07016  
Phone (908) 276-2715 Fax (908) 709-1738  
Email: [info@hcicg.net](mailto:info@hcicg.net)

**VICTOR E. VINEGRA**  
PROFESSIONAL ENGINEER & LAND SURVEYOR  
NEW JERSEY LICENSE No. 34460

2

**VICTOR E. VINEGRA**  
PROFESSIONAL ENGINEER & LAND SURVEYOR  
NEW JERSEY LICENSE No. 34460

SCALE: 1"=20'	DATE: 08/14/2020	DESIGNED BY: V.E.V.	DRAWN BY: S.P.	WORK FILE: 2020090_Exist&Demo&L&D
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CERTIFICATE OF AUTHORIZATION No.	PROJECT No:
24GA27962100	2020090

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THE COPYING OR REUSE OF THIS DOCUMENT, OR PORTIONS THEREOF, FOR OTHER THAN THE ORIGINAL PROJECT OR  
THE PURPOSE ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF HARBOR CONSULTANTS INC. IS PROHIBITED

CERTIFICATION:—

I CERTIFY THAT THIS PLAN IS THE RESULT OF A FIELD SURVEY MADE ON JULY 8, 2020, BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE "STATE BOARD OF PROFESSIONAL ENGINEERS & LAND SURVEYORS."

THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AT, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE.

SUBJECT TO SUCH FACTS AS AN ACCURATE TITLE SEARCH  
MAY DISCLOSE.

TO: KW HOME KREATIONS LLC  
17 ORHCARD PLACE  
CEDAR KNOLLS, NJ 07927

DESCRIPTION:-

BEING KNOWN AND DESIGNATED AS LOTS 13.01 AND 13.02  
IN BLOCK 203 ON THE CITY OF LINDEN TAX ASSESSMENT MAP  
BEING MORE COMMONLY KNOWN AS No. 816 BALDWIN AVENUE  
CITY OF LINDEN, UNION COUNTY, NEW JERSEY

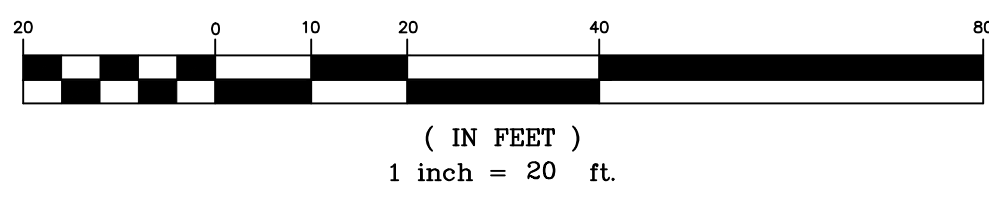
NOTES:—

1. REFERENCE WAS MADE TO DEED BOOK 4648, PAGE 192.
2. AT THE REQUEST OF THE OWNERS, PROPERTY CORNERS WERE NOT SET AT THIS TIME.
3. DIMENSIONS AS SHOWN ARE NOT INTENDED FOR THE CONSTRUCTION OF FENCES OR PERMANENT STRUCTURES.
4. OFFSETS SHOWN ARE MEASURED FROM THE FRAME OF THE STRUCTURE PERPENDICULAR TO THE PROPERTY LINE, UNLESS OTHERWISE NOTED.
- CAUTION:** IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.

**CAUTION:** IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.

ELEVATIONS SHOWN ARE BASED  
ON NAVD 88

GRAPHIC SCALE

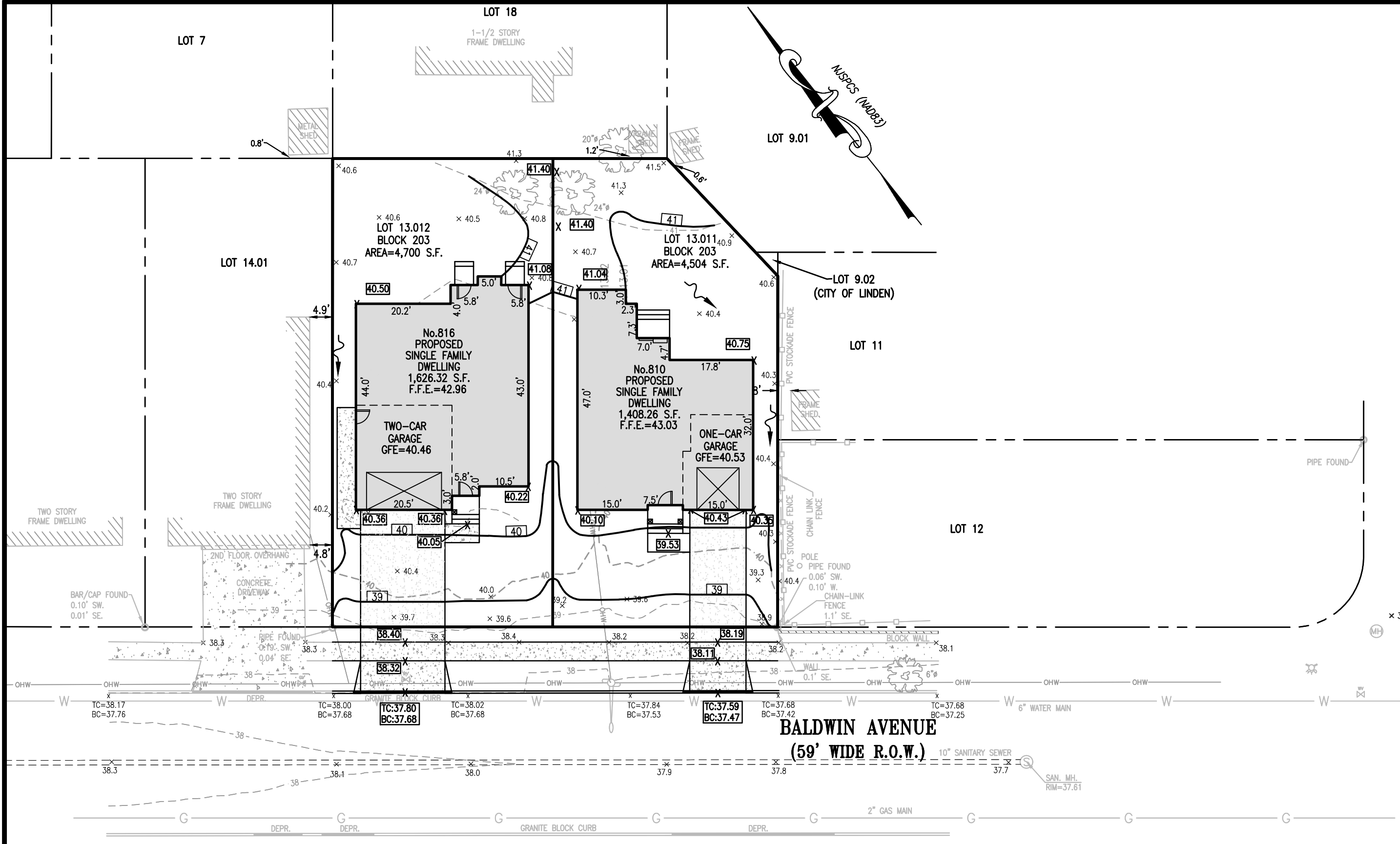


( IN FEET )  
inch = 20 ft.

### LEGEND

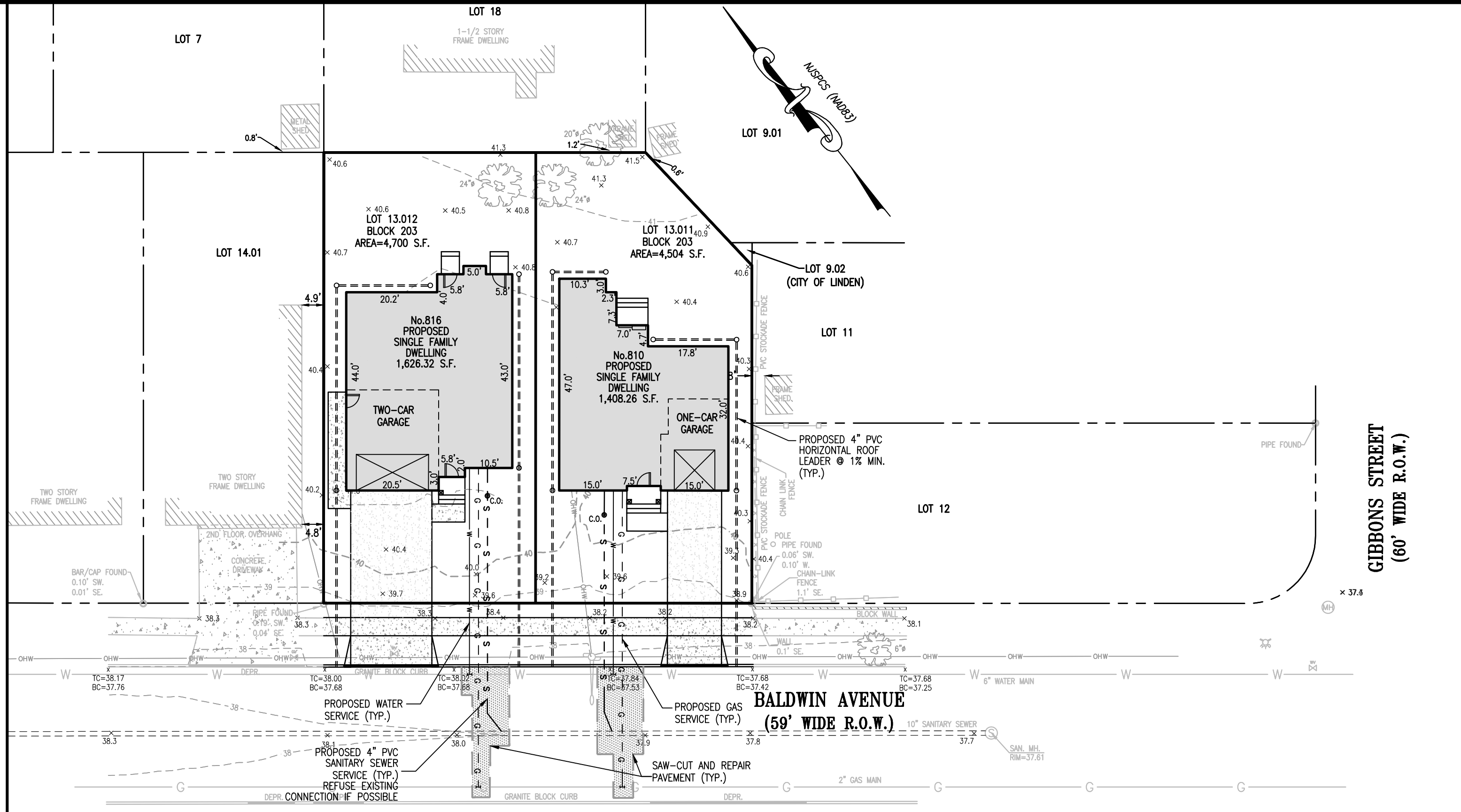
●	STREET SIGN	○	IRON BAR FOUND
●	CLEANOUT	□	MAILBOX
●	SANITARY MANHOLE	⊗	STREET TREE
Ⓢ	DRAINAGE MANHOLE	× 0.00	EXIST. SPOT ELEVATION
Ⓢ	CATCH BASIN	— 10 —	EXISTING CONTOUR LINE
□	CATCH BASIN	— C —	GAS LINE
●	SOIL BORING	— W —	WATER LINE
●	GROUND WIRE	⚡	GAS VALVE
●	UTILITY POLE	⚡	WATER VALVE
●	P.C. NAIL FOUND	⚡	FIRE HYDRANT
●	CONC. MONUMENT FOUND	☆	LIGHT POST





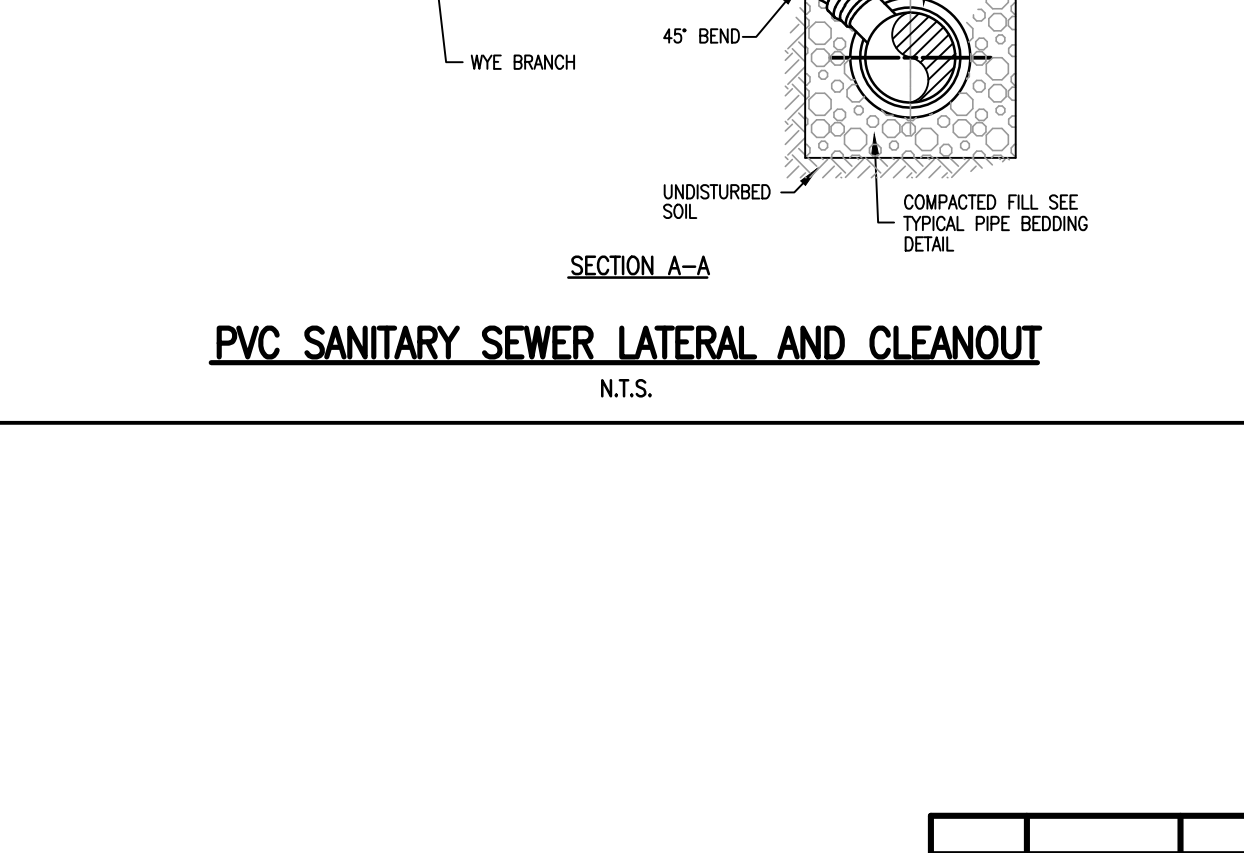
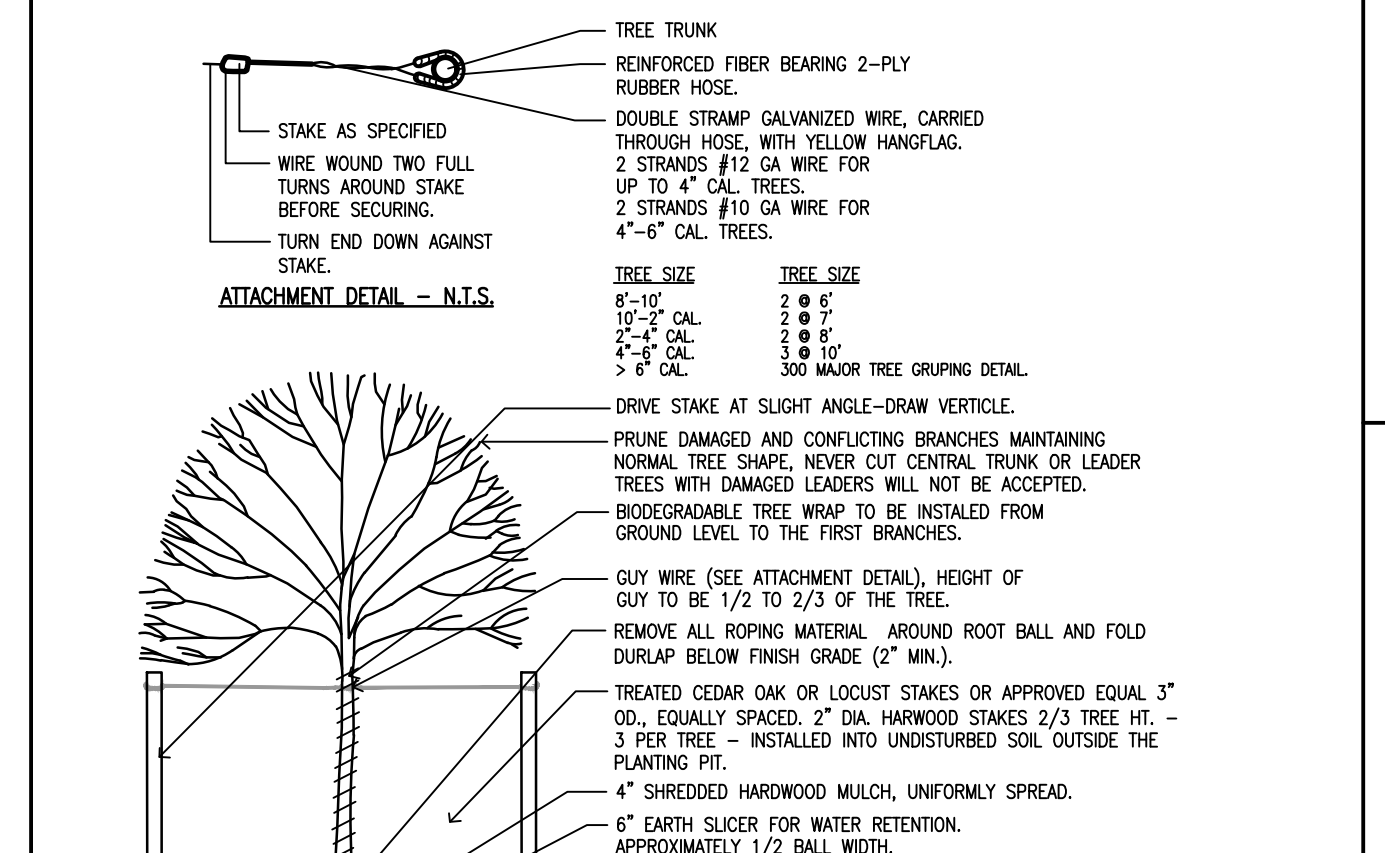
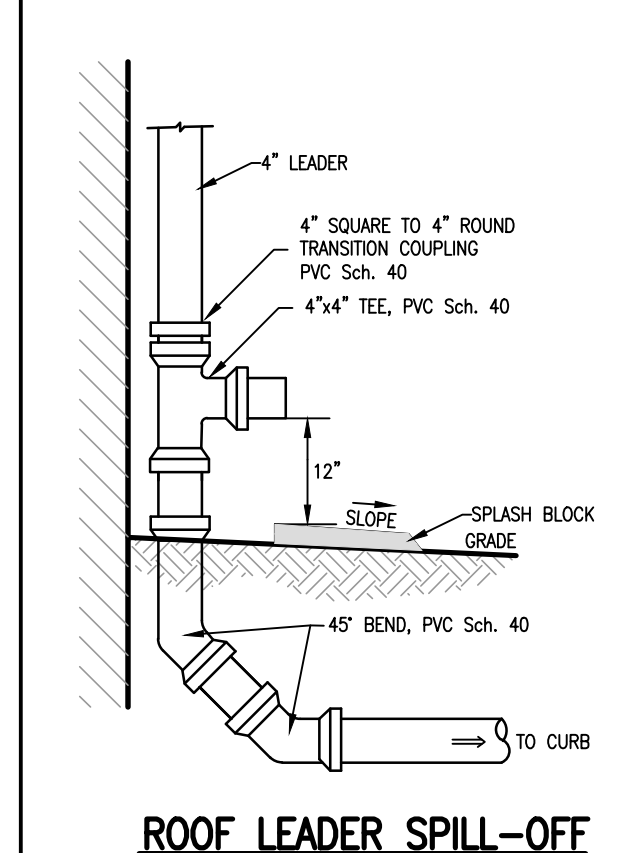
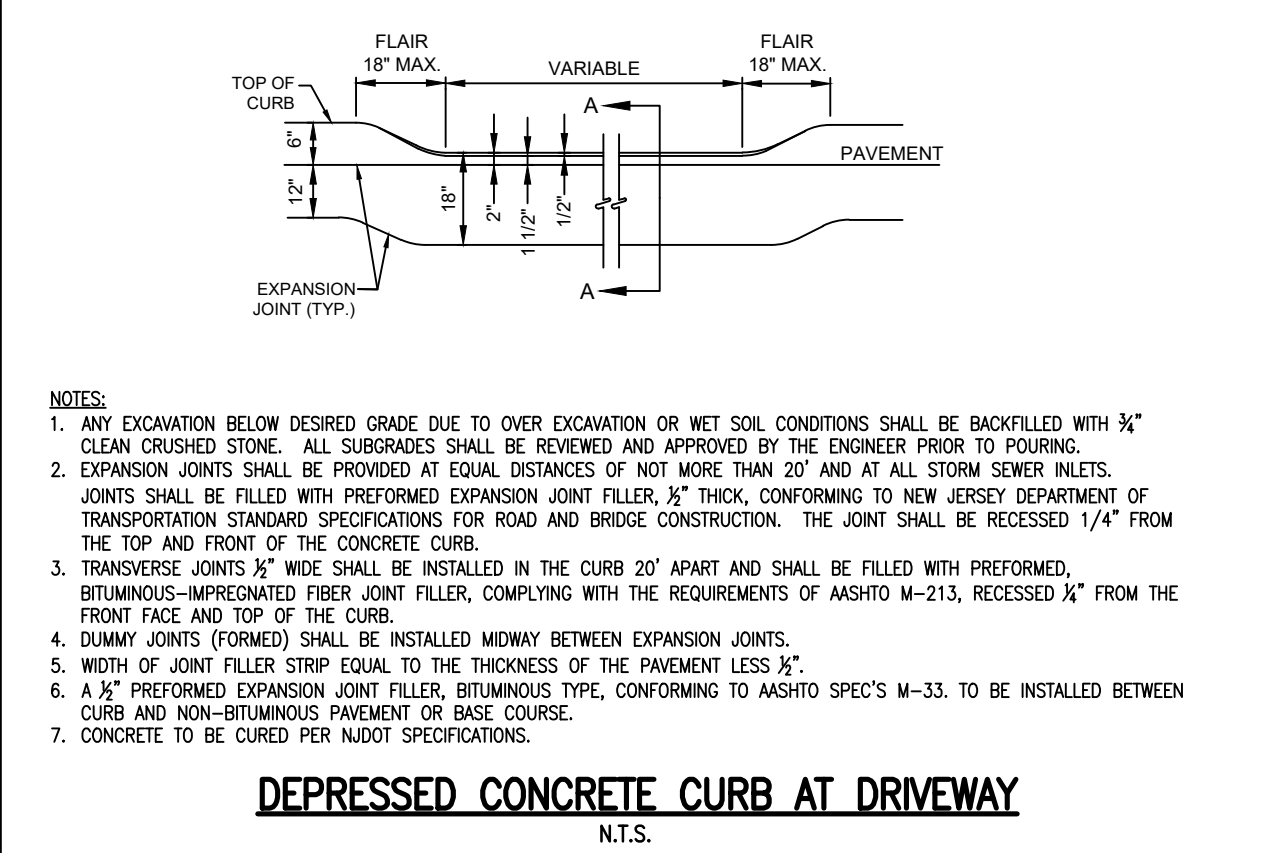
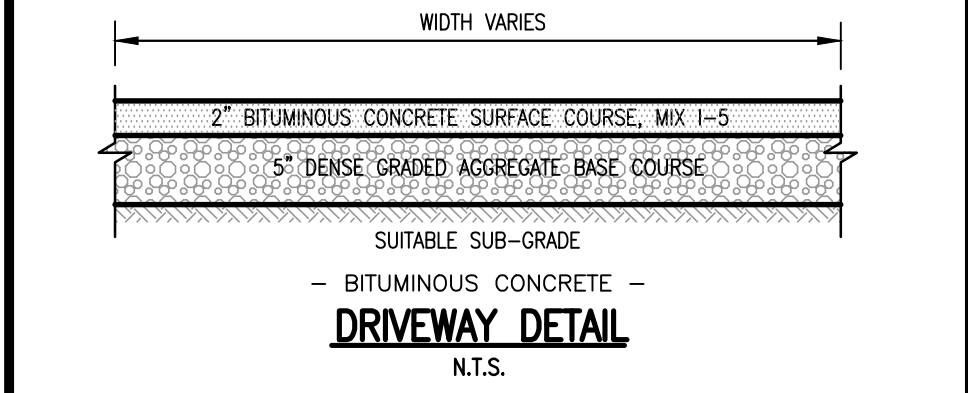
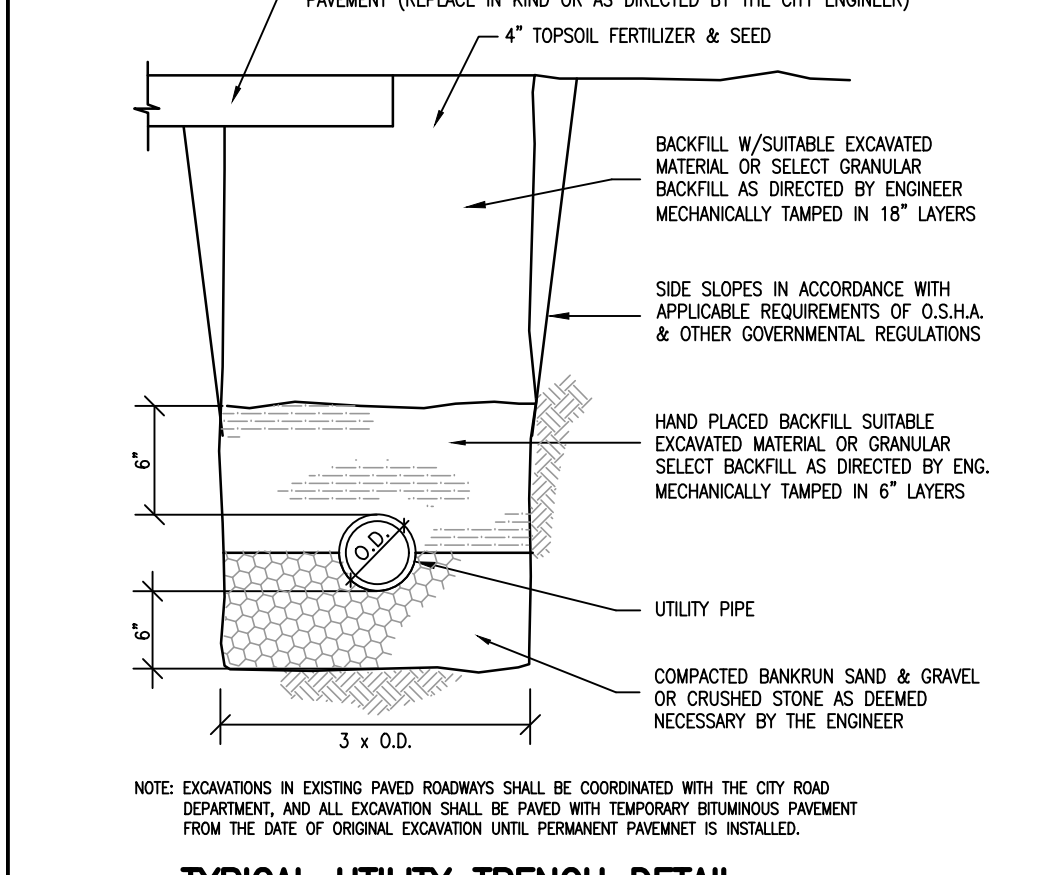
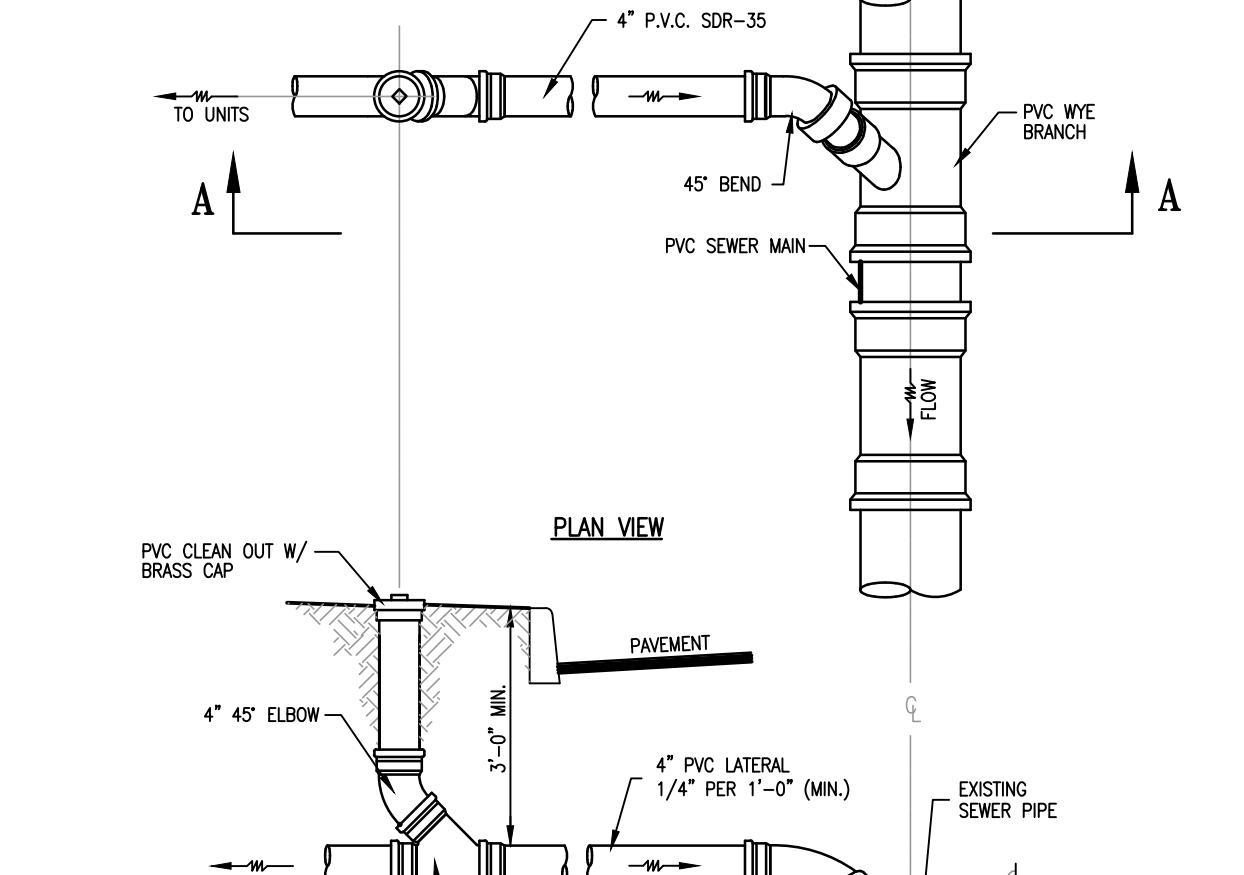
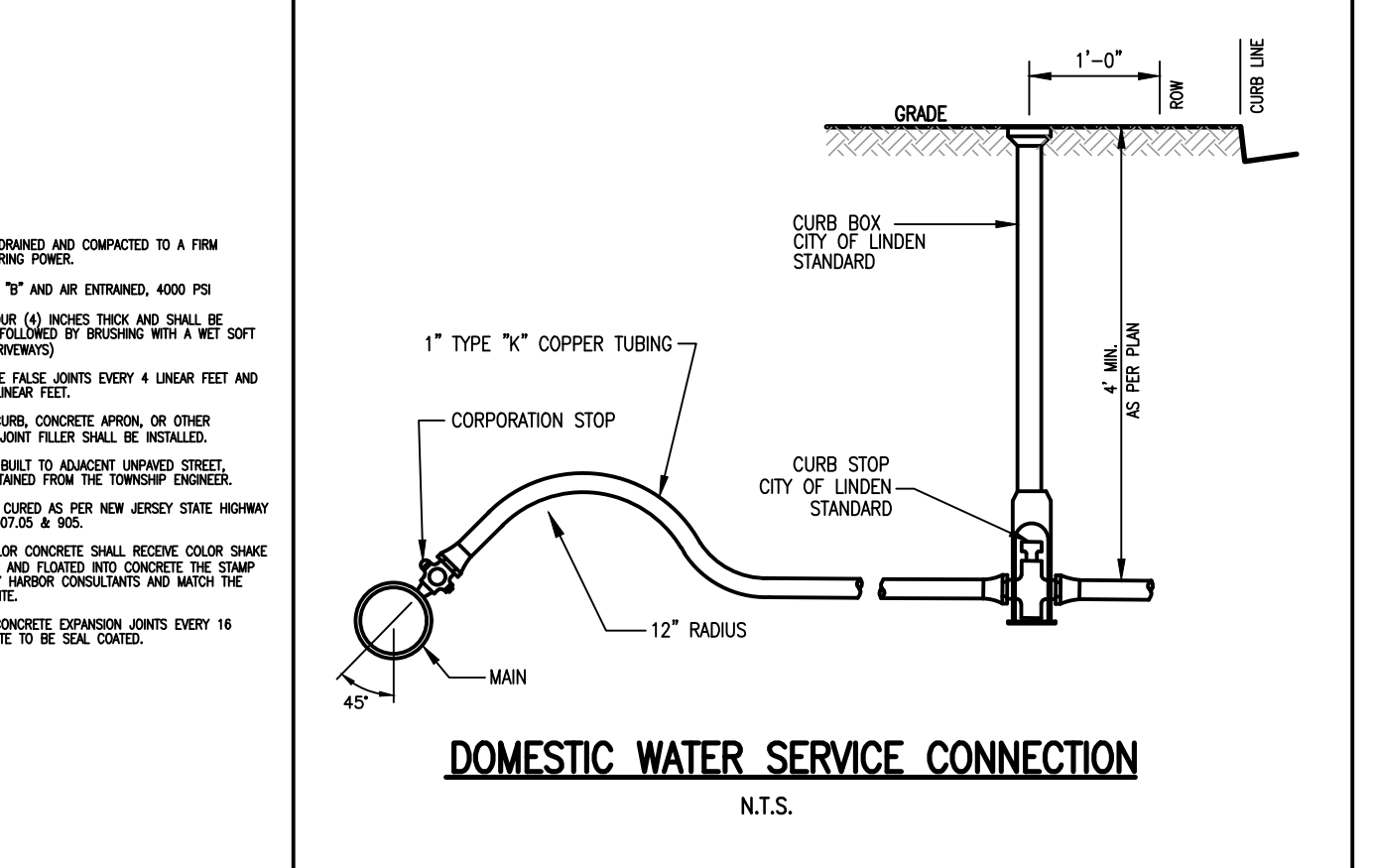
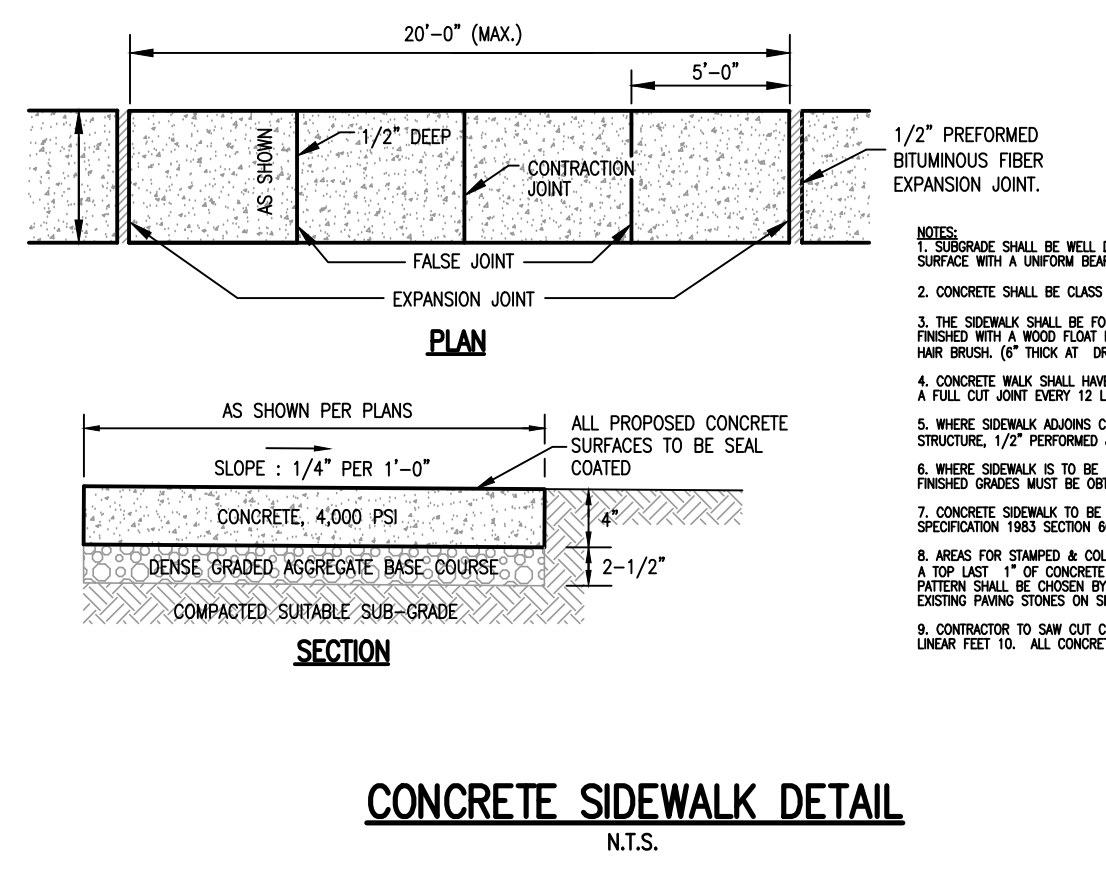
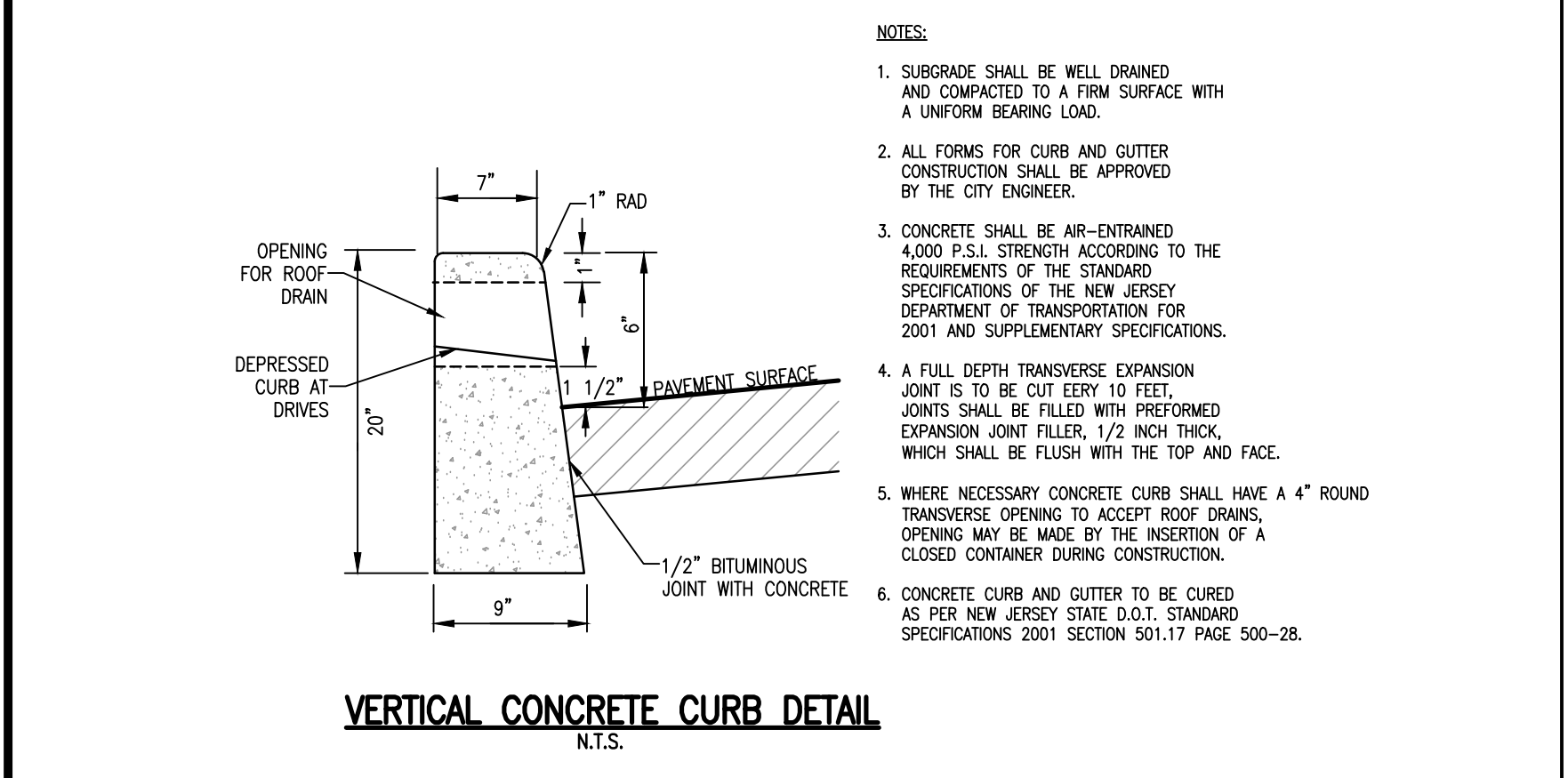
GIBBONS STREET  
(60' WIDE R.O.W.)

**GRADING PLAN**  
SCALE: 1"=20'



GIBBONS STREET  
(60' WIDE R.O.W.)

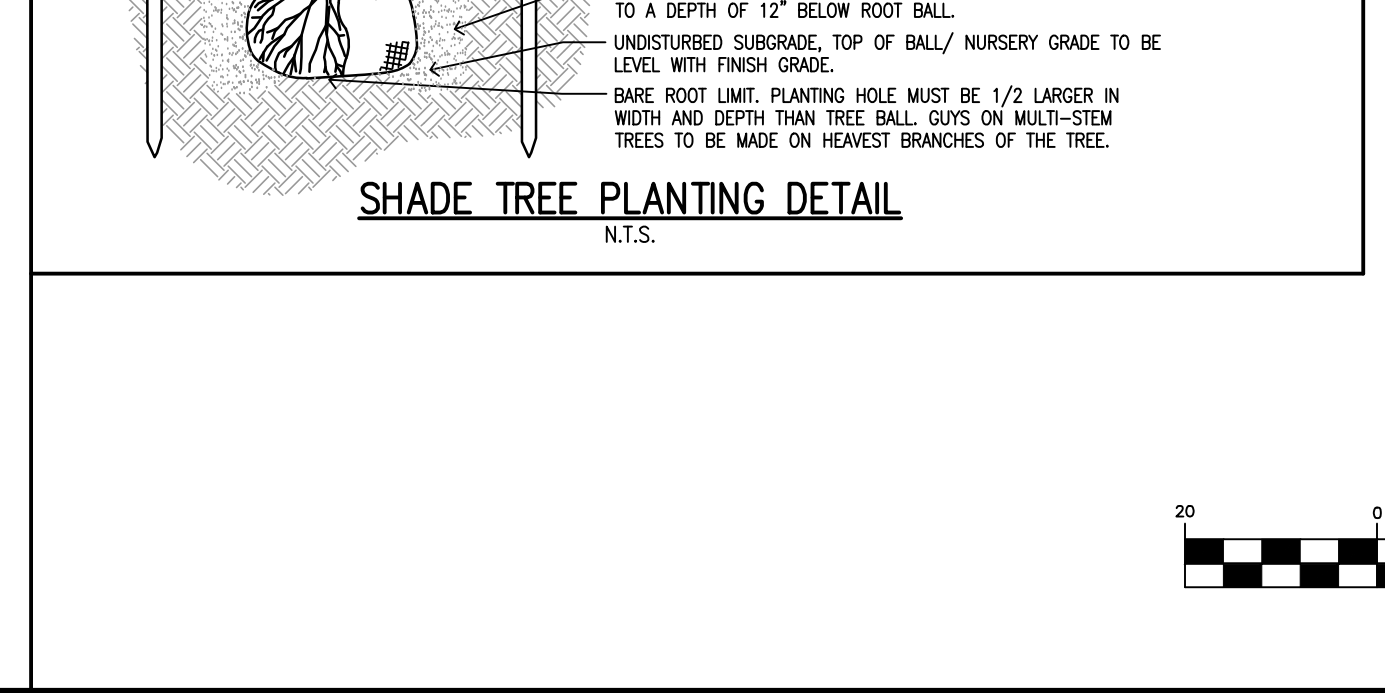
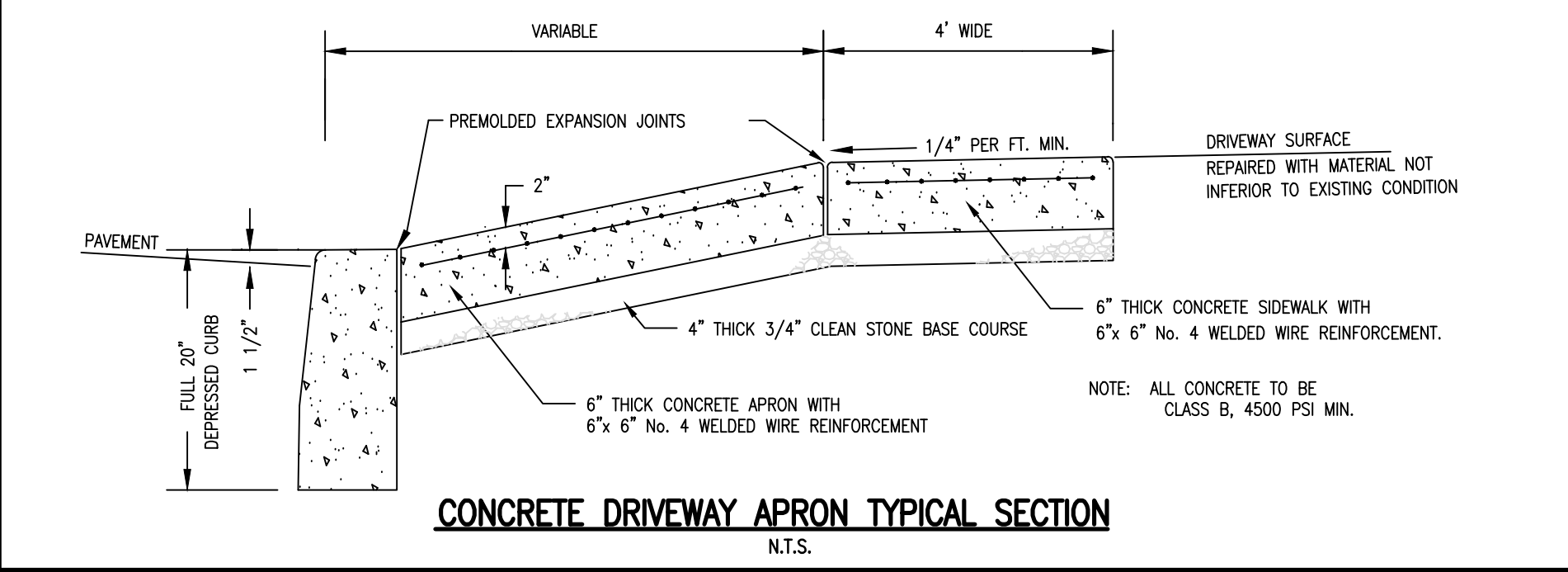
**UTILITY PLAN**  
SCALE: 1"=20'



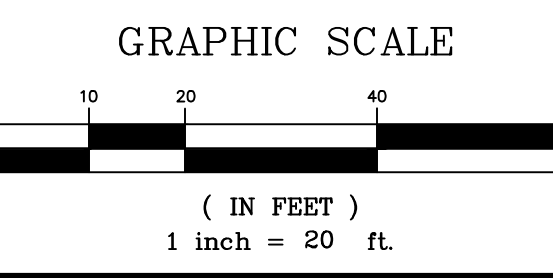
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CALL BEFORE YOU DIG  
1-800-272-1000  
IT'S THE LAW

**Dig Safely**  
NEW JERSEY ONE CALL  
CONTRACTORS SHALL CALL 1-800-272-1000  
MINIMUM THREE DAYS, MAXIMUM 10 DAYS NOTICE PRIOR TO  
BEGINNING EXCAVATION

LEGEND	
STREET SIGN	IRON BAR FOUND
CLEANOUT	MAILBOX
SANITARY MANHOLE	STREET TREE
DRAINAGE MANHOLE	EXIST. SPOT ELEVATION
CATCH BASIN	EXISTING CONTOUR LINE
CATCH BASIN	GAS LINE
SOIL BORING	WATER LINE
GUY WIRE	GAS VALVE
UTILITY POLE	WATER VALVE
P.K. NAIL FOUND	FIRE HYDRANT
CONC. MONUMENT FOUND	LIGHT POST



ELEVATIONS SHOWN ARE BASED  
ON NAVD 88



**Harbor Consultants Inc.**  
Engineers & Surveyors  
320 NORTH AVENUE EAST  
CRANFORD, N.J. 07016  
Phone (908) 276-2715 Fax (908) 709-1738  
Email: info@hcicg.net

MINOR SUBDIVISION PLAN  
**GRADING, UTILITIES & CONSTRUCTION DETAILS PLAN**  
No. 816 BALDWIN AVENUE  
LOTS 13.01 & 13.02, BLOCK 203  
UNION COUNTY NEW JERSEY

**VICTOR E. VINEGRA**  
PROFESSIONAL ENGINEER & LAND SURVEYOR  
NEW JERSEY LICENSE No. 34460

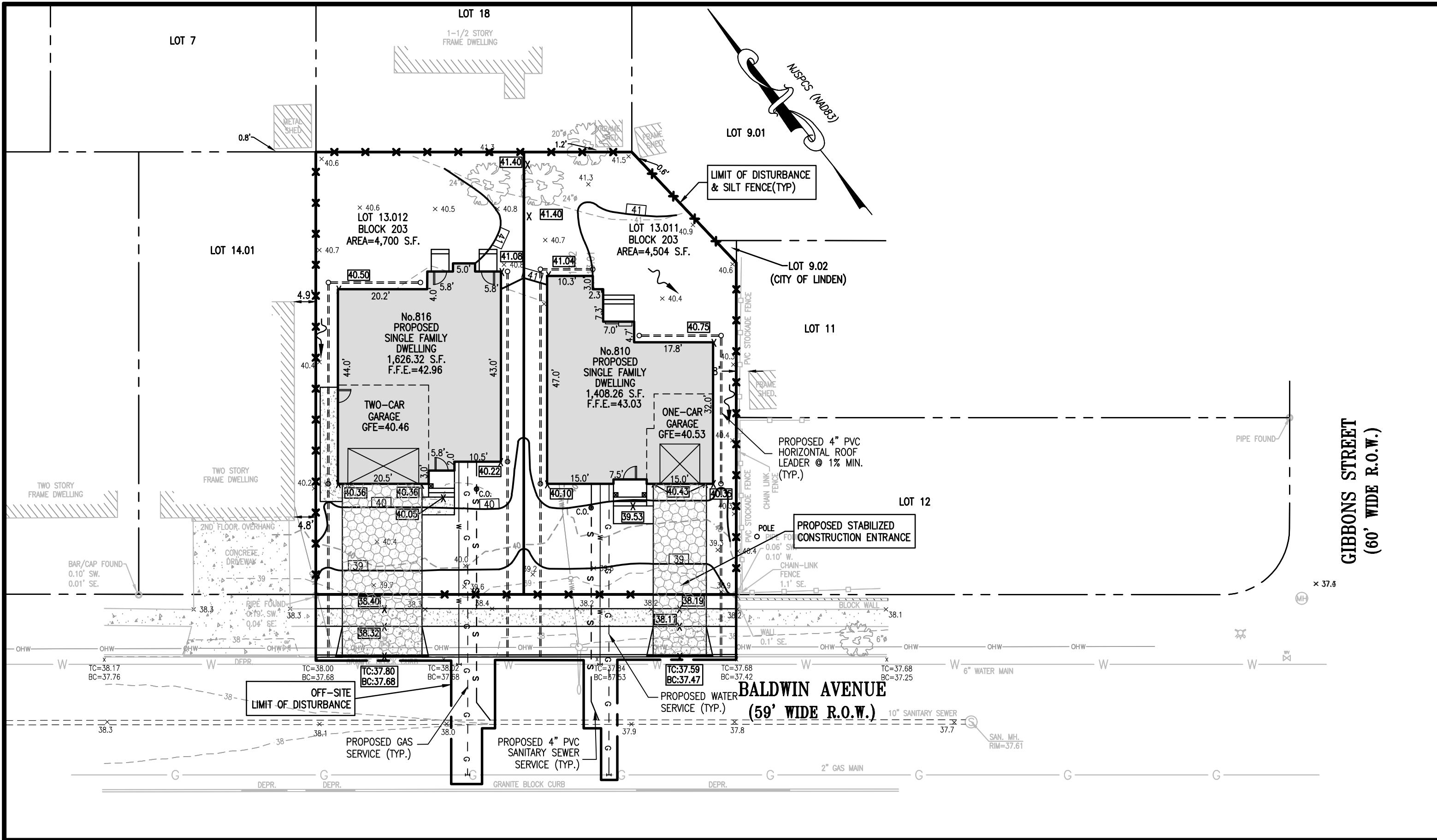
CITY OF LINDEN

SCALE: 1"=20' DATE: 08/14/2020 DESIGNED BY: V.E.V. DRAWN BY: S.P. WORK FILE: 2020090\_G&U

CERTIFICATE OF AUTHORIZATION No. 246A27962100 PROJECT No. 2020090

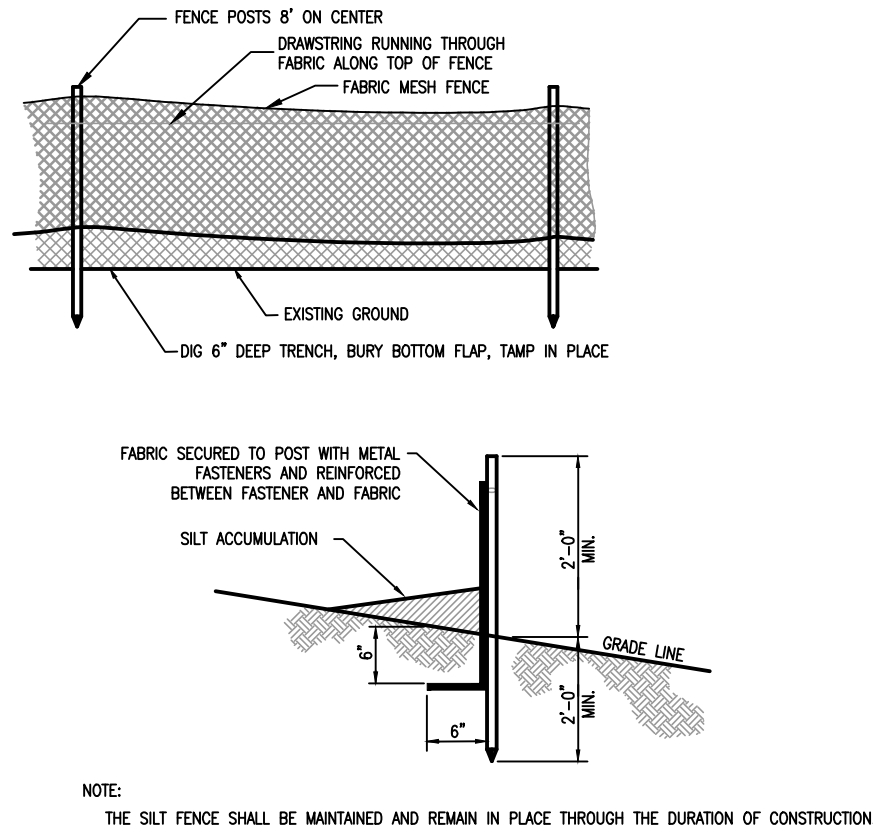
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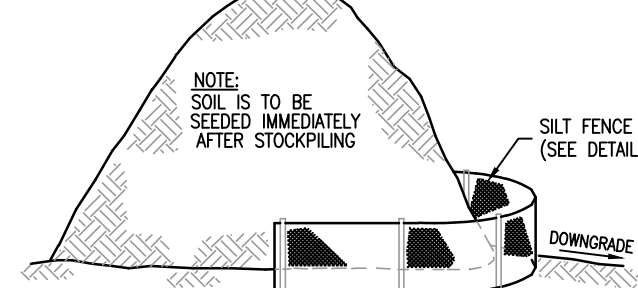
SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=20"



SILTATION FENCE DETAIL

N.T.S.



TOPSOIL STOCKPILING DETAIL

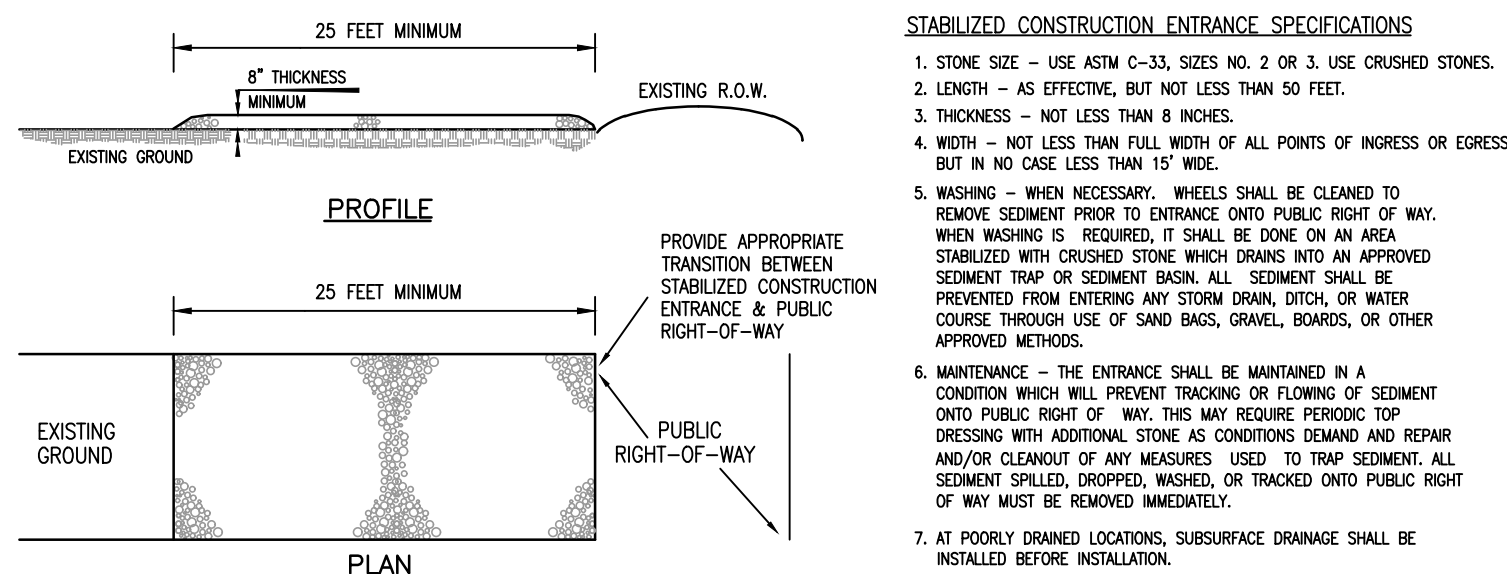
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LEGEND		
STREET SIGN	IRON BAR FOUND	
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GUY WIRE	GAS VALVE	
UTILITY POLE	WATER VALVE	
P.K. NAIL FOUND	FIRE HYDRANT	
CONC. MONUMENT FOUND	LIGHT POST	



STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

STABILIZED CONSTRUCTION ENTRANCE SPECIFICATIONS

- STONE SIZE - USE ASTM C-33, SIZES NO. 2 OR 3, USE CRUSHED STONES.
- LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
- THICKNESS - NOT LESS THAN 8 INCHES.
- WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS, BUT IN NO CASE LESS THAN 15' WIDE.
- WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATER SOURCE THROUGH USE OF SAND BASKS, GRABELS, BARRIERS, OR OTHER APPROVED METHODS.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- AT POBLY DRAINED LOCATIONS, SURFACE DRAINAGE SHALL BE INSTALLED BEFORE INSTALLATION.

TEMPORARY & PERMANENT SEEDING SCHEDULE

(REVISED PER "NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7th EDITION, DECEMBER 2017)

- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION, REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.
- TEMPORARY SEEDING SHALL CONSIST OF SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1,000 SF OR GRAM RYE APPLIED AT A RATE OF 2.4 LBS. PER 1,000 SF. TEMPORARY SEEDING TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING. IF ANY SERIOUS EROSION PROBLEM OCCURS, THE ERODED AREAS SHALL BE REPAIRED AND STABILIZED WITH A MULCH AS INDICATED IN NOTE 6.
- PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL. SITE CONTAINS SOIL, HALEDOON-URBAN LAND-HASBROUCK COMPLEX, 0 TO 8 PERCENT SLOPES CLASSIFIED AS "SOMewhat POORLY DRAINED" AS PER NJ WEB SOIL SURVEY USDA PLANTING MIXTURE TO BE USED: MIX-16 (RESIDENTIAL/COMMERCIAL USE) ROUGH BLUEGRASS @ 90 lb/Ac. STRONG CREEPING RED FESCUE @ 130 lb/Ac. SITE IS LOCATED WITHIN USDA PLANT HARDNESS ZONE 6b, PLANTING DATES: ACCEPTABLE DATE: 3/01 TO 4/30 ACCEPTABLE DATE: 5/01 TO 6/14 (\*\*) OPTIMAL DATE: 6/15 TO 10/15 (\*\*) SUMMER SEEDINGS SHOULD ONLY BE CONDUCTED WHEN THE SITE IS IRRIGATED, MIXES INCLUDING WHITE CLOVER REQUIRE THAT AT LEAST SIX SEEDS OF GROWING SEASON REMAIN AFTER SEEDING TO ENSURE ESTABLISHMENT BEFORE FREEZING CONDITIONS.
- PERMANENT SEEDING TO BE APPLIED BY CYCLONE SPREADER OR OTHER APPROVED METHOD, AT A RATE OF 150lb/ACRE. SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 6.
- FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-20-10 APPLIED AT A RATE OF 11lb/1000 SF OR AS DETERMINED BY SOIL TESTS. LIMESTONE FOR TEMPORARY SEEDING SHALL BE APPLIED AT A RATE OF 90lb/1000SF. LIMESTONE FOR PERMANENT SEEDING SHALL BE APPLIED AT A RATE OF 135lb/1000 SF.
- IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH.
- ALL SEEDED AREAS SHALL BE MULCHED. MULCH SHALL CONSIST OF SMALL GRASS STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER, LIQUID MULCH BINDER, OR AN APPROVED EQUAL AT A RATE OF 70-90 LBS. PER 1000 SF.

GENERAL NOTES:

- SOMERSET-UNION CONSERVATION DISTRICT SOMERSET COUNTY 4-H CENTER 308 MILLTOWN ROAD BRIDGEMAN, NJ 08807 (908)-528-2701
- OWNER/APPLICANT: PW HOME CREATIONS, LLC 17 ORCHARD PLACE CEDAR KNOLLS, NJ 07927
- THIS PLAN IS ONLY TO BE USED AS A GUIDE TO THE IMPLEMENTATION OF SOIL EROSION CONTROL MEASURES. IT IS NOT TO BE USED FOR CONSTRUCTION. REFER TO GRADING & UTILITY PLAN AND SUPPLEMENTS THERETO.
- ALL ROADS AND WALKWAYS WILL BE SWEEPED DAILY THROUGH THE DURATION OF CONSTRUCTION.
- AREA WITHIN LIMIT OF DISTURBANCE 11,211 S.F. (0.257 ACRE)

STANDARD FOR STABILIZATION WITH VEGETATIVE COVER

(REVISED PER "NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7th EDITION, JULY 2017)

- SITE PREPARATIONA. GRADE, AS NEEDED AND FEASIBLE, TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
- SEEDED PREPARATIONA. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT, WITH 50% WATER INSOLUBLE NITROGEN. UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDING IS PREPARED.C. HIGH ACID PRODUCING SOILS SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE NITING SEEDED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS OF SPECIFIC RECOMMENDATIONS.
- SEEDINGA. SELECT A MIXTURE FROM TABLE 4-3 OR USE A MIXTURE RECOMMENDED BY RUTGERS CO-OPERATIVE EXTENSION OR NATURAL RESOURCES CONSERVATION SERVICE WHICH IS APPROVED BY THE SOIL CONSERVATION DISTRICT. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED.B. SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION, THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS BOX VEGETATIVE COVERAGE WITH THE SPECIFIED SEED MIXTURE FOR THE SEEDED AREA AND MOWED ONCE.C. WARM-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES. GENERALLY 85°F AND ABOVE. SEE TABLE 4-3 MIXTURES 1 TO 7. PLANTING RATES FOR WARM-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY THE SEED ANALYST. PLANTING RATES FOR COOL-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY THE SEED ANALYST.D. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. MULCH SHALL BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4-MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.
- MULCHINGA. MULCHING IS REQUIRED ON ALL SEEDED. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DETERMINED WITH THIS MULCHING REQUIREMENT.B. STRAW OF HAY, UNROTTED SMALL GRASS STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRUMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (FACIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CRUMPER-BLINDERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWN DUE TO THE PRESENCE OF WEED SEED.C. APPLICATION - SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE EACH AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.D. ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS:1. PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRSS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.2. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.3. SOMERSET (MULCH ANCHORING COULTER TOOL) - A TRACTOR-DRAWN IMPLEMENT, SOMEWAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRANSFERRED BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH.

- (A) APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPLICATION.
- (B) USE ONE OF THE FOLLOWING:
- ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL. WHEN APPLIED TO MULCH UNDER SATISFACTORY DURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOLOGIC EFFECT OR IMPIDE GROWTH OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
  - SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISOLUBLE WITH WATER WHEN DILUTED AND, FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.
- B. WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OF GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPED AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

C. PELLETED MULCH - COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORM A MULCH MAT. PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE, APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVER.

6. TOPDRESSING

SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED IN SECTION 2A - SEEDED PREPARATION IN THIS STANDARD, NO FOLLOW-UP OF TOPDRESSING IS MANDATORY. AN EXCEPTION MAY BE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN THAT INSTANCE, TOPDRESS WITH 10-10-10 OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELIORATED.

7. ESTABLISHING PERMANENT VEGETATIVE STABILIZATION

THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4-3 ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO THE ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION UP TO 100% REDUCTION IN APPLICATION RATES MAY BE USED. WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT, THESE RATE APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS BOX VEGETATIVE COVER (OF THE SEEDED SPECIES) AND MOWED ONCE.

SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- PERMANENT VEGETATION TO BE SEEDED OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCES OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- ANY STEEP SLOPES REQUIRING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (I.E. SLOPES GREATER THAN 3:1).
- THE STANDARDS FOR STABILIZED CONSTRUCTION ACCESS REQUIRE THE INSTALLATION OF A STONE PAD OF 1 1/2' TO 2' STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDED PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
- THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 72 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATION STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER IT, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- IN THAT N.J.S.A. 4:24-39 ET SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
- UNLIMITED DOWNGRADING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DOWNGRADING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DOWNGRADING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORM WATER OUTFALLS OR OFF SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. THE DISTRICT RESERVES THE RIGHT TO DETERMINE WHEN CERTIFICATION OF A NEW AND SEPARATE SOIL EROSION AND SEDIMENT CONTROL PLAN WILL BE REQUIRED FOR THESE ACTIVITIES.
- ALL SOIL STOCKPILES AREA TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #2.
- A UNIFORM APPLICATION OF TOPSOIL WILL BE APPLIED TO AN AVERAGE DEPTH OF 5.0 INCHES, WITH A MINIMUM OF 4.0 INCHES.

SEQUENCE OF CONSTRUCTION OPERATIONS

ACTIVITY	TIME PERIOD
1. Install silt fence.	1 Day
2. Install stabilized construction entrance.	1 Day
3. Demolish existing structures and obstructions (improvements).	1 Week
4. Strip topsoil, stockpile and stabilize.	2 Days
5. Excavate and construct Foundation.	2 Month
6. Back fill Foundation, rough grade site and apply temporary seeding and or mulch as required.	3 Days
7. Begin Building construction.	1 Year
8. Connect underground utilities.	2 Week
9. Install services walkways and pave driveway.	3 Days
10. Finish grading site and apply permanent stabilization measures.	1 Week
11. Remove temporary soil erosion control measures.	1 Day
12. Complete Building and Landscaping.	2 Weeks

ELEVATIONS SHOWN ARE BASED ON NAVD 88

GRAPHIC SCALE



( IN FEET )

1 inch = 20 ft.



**Harbor Consultants Inc.**  
Engineers & Surveyors  
320 NORTH AVENUE EAST  
CRANFORD, N.J. 07016  
Phone (908) 276-2715 Fax (908) 709-1738  
Email: info@hcginc.net

MINOR SUBDIVISION PLAN  
**SOIL EROSION & SEDIMENT CONTROL PLAN**  
No. 816 BALDWIN AVENUE  
LOTS 13.01 & 13.02, BLOCK 203  
CITY OF LINDEN UNION COUNTY NEW JERSEY

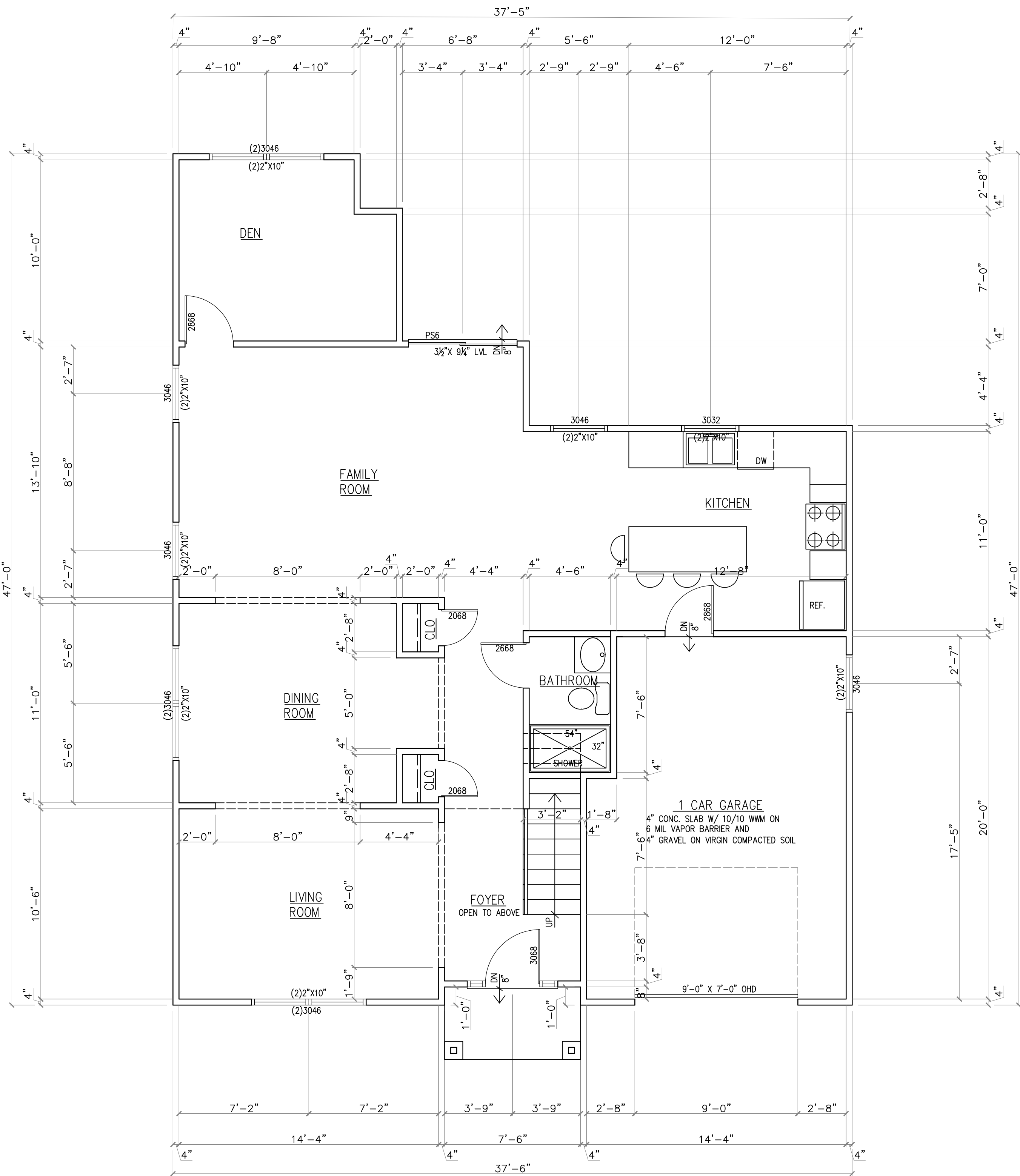
SCALE:	DATE:	DESIGNED BY:	DRAWN BY:	WORK FILE:
1"=20'	08/14/2020	V.E.V.	S.P.	2020090_SESC

**VICTOR E. VINEGRA**  
PROFESSIONAL ENGINEER & LAND SURVEYOR  
NEW JERSEY LICENSE NO. 34460

CERTIFICATE OF AUTHORIZATION NO.:	PROJECT NO.:
246A27962100	2020090

4





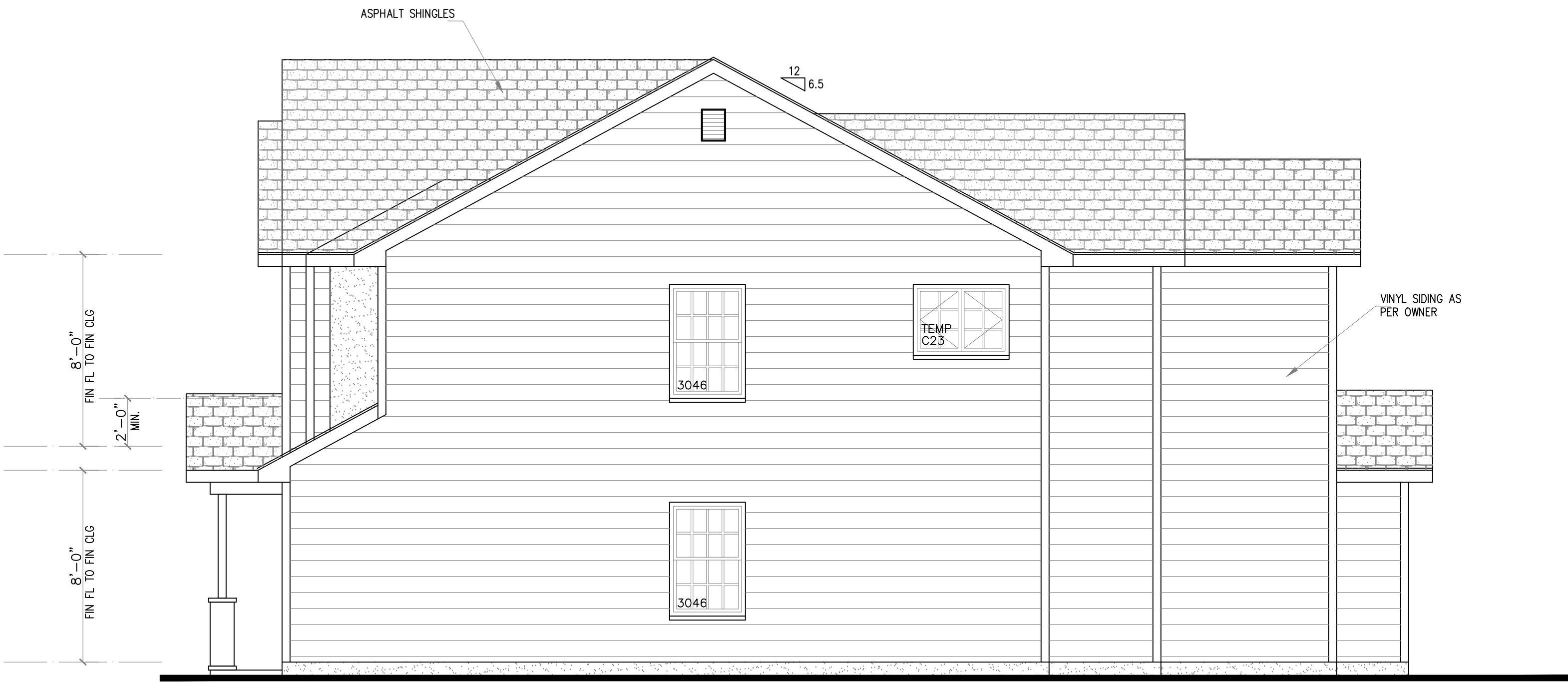
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

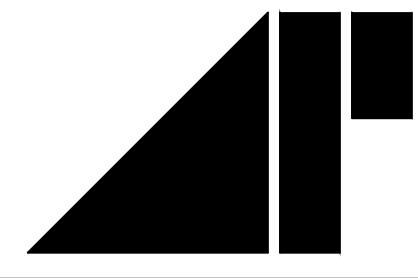
SCALE: 1/4" = 1'-0"

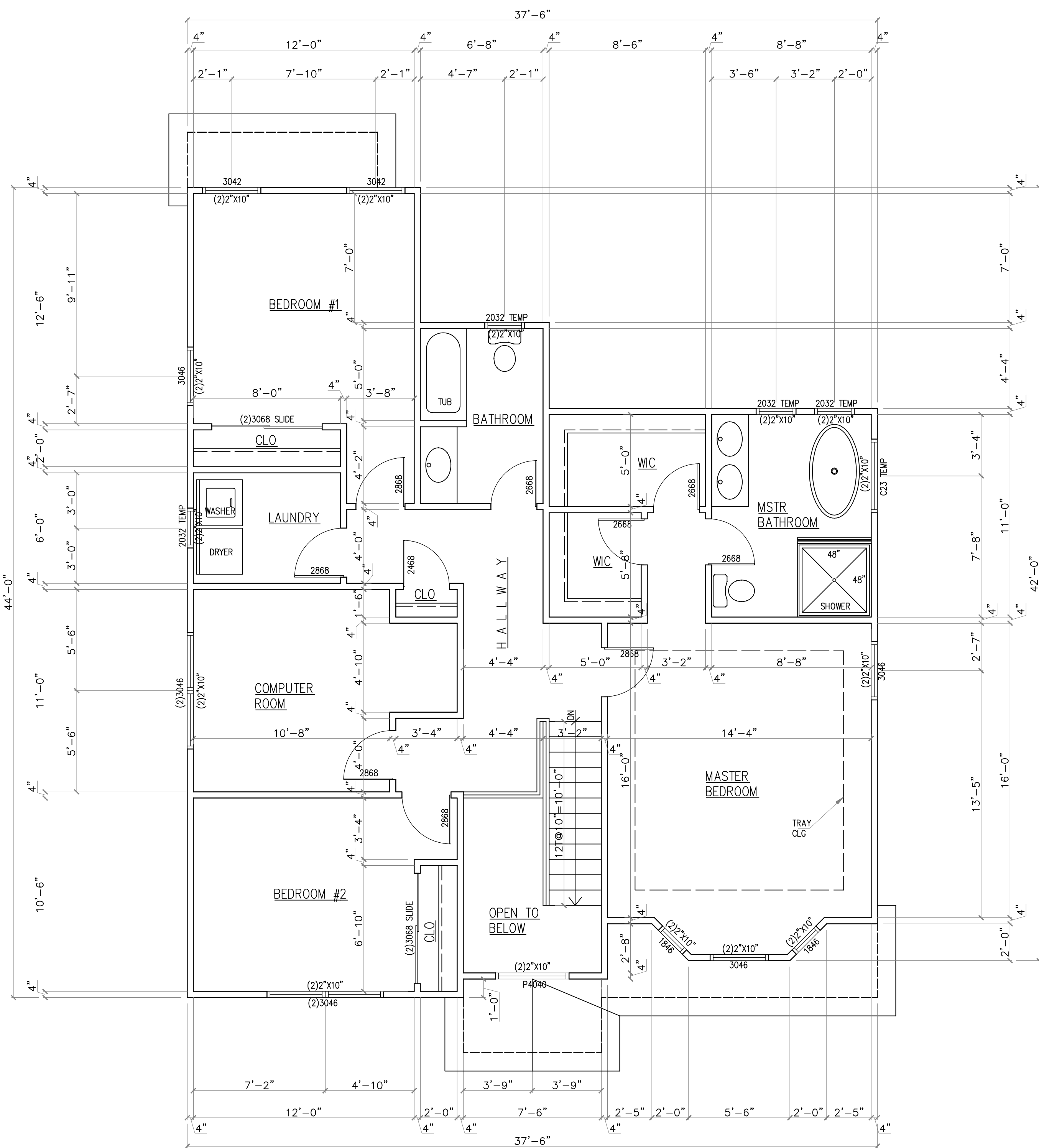


RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL INFORMATION	
ADDRESS:	810 BALDWIN ST., LINDEN, N.J.
CONSTRUCTION TYPE	- V-B
USE GROUP	- R-5
AREA :	
- FIRST FLOOR :	1,122 SQ FT
- SECOND FLOOR :	1,245 SQ FT
	TOTAL : 2,367 SQ FT
- GARAGE :	286 SQ FT
CODE USED :	
	INTERNATIONAL RESIDENTIAL CODE
	IRC - 2018 NEW JERSEY EDITION.

 architect			
ANDREW PODBEREZNAK R.A. 11 High Point Drive Springfield N.J. 07081		Tel: 973-493-9476 Fax: 908-277-6007 N.J. Lic # 12241	
Date 05.07.20	Project Title	NEW HOUSE 810 BALDWIN AVE., LINDEN, NJ	Job # 20-091
Scale AS NOTES			Dwg. #
Drawn by J.D.	Drawing Title	FIRST FLOOR PLAN, FRONT ELEVATION. RIGHT SIDE ELEVATION	A - 1
Checked by A.P.			OF 2
		ZONING REVIEW	



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

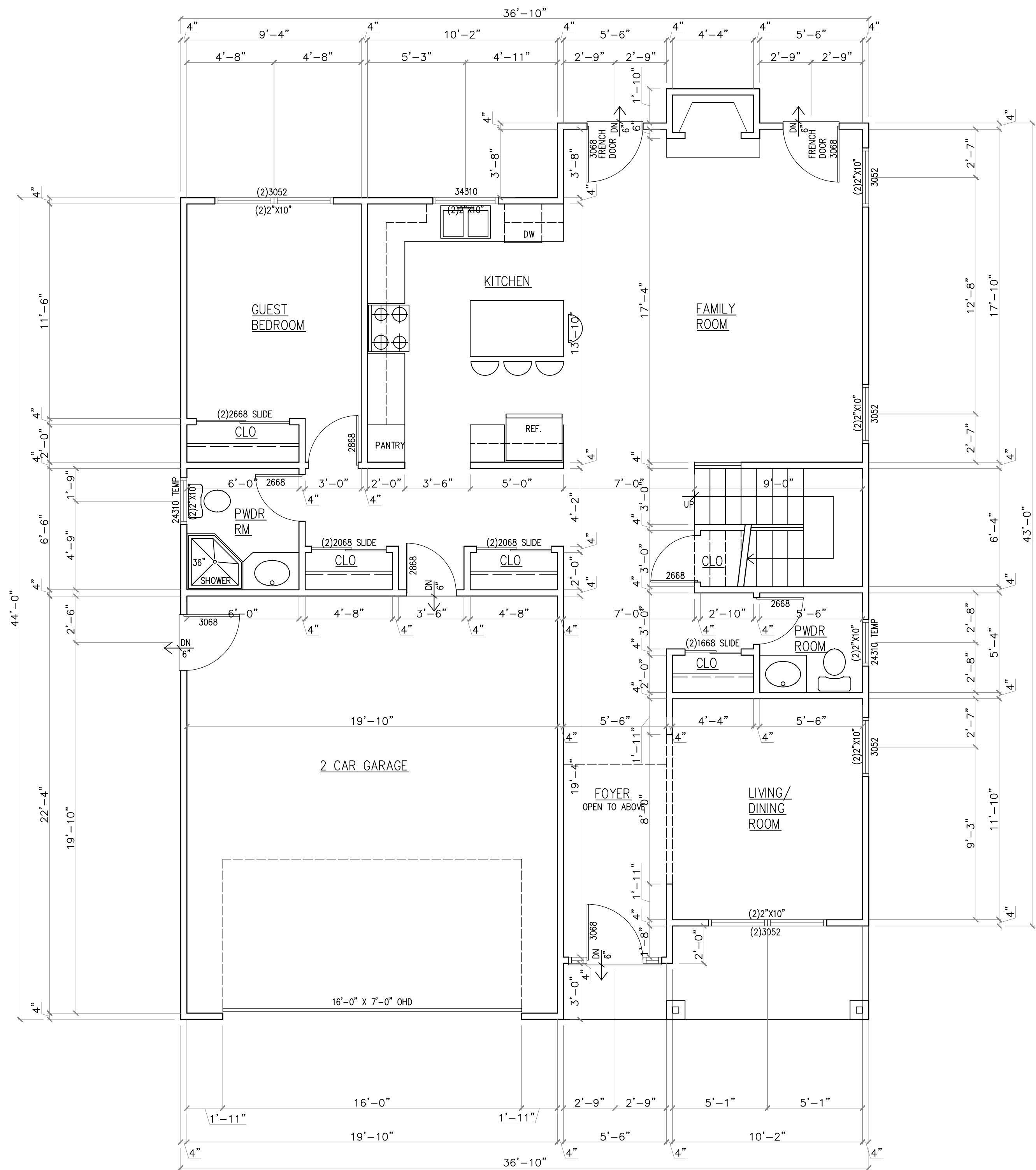
SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

		<b>architect</b>		ANDREW PODBEREZNAK R.A. 11 High Point Drive Springfield N.J. 07081 Tel: 973-493-9476 Fax: 908-277-6007 N.J. Lic # 12241
Date 05.07.20	Project Title  NEW HOUSE  810 BALDWIN AVE., LINDEN, NJ		Job #  20-091	
Scale AS NOTES			Dwg. #	
Drawn by J.D.	Drawing Title SECOND FLOOR PLAN, REAR ELEVATION. LEFT SIDE ELEVATION		A - 2  OF 2	
Checked by A.P.	ZONING REVIEW			



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL INFORMATION

ADDRESS: 816 BALDWIN ST.,  
LINDEN, N.J.

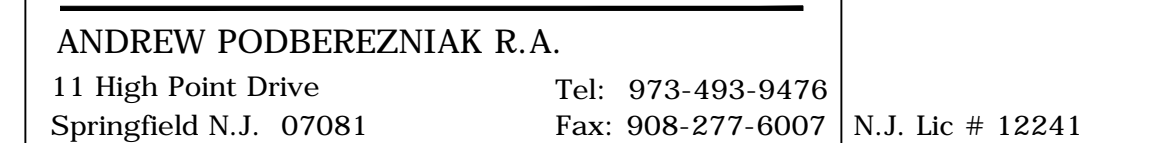
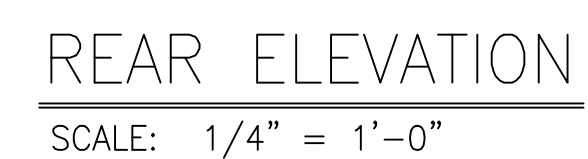
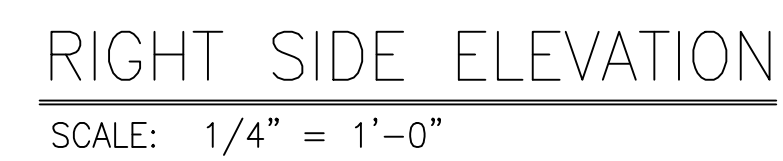
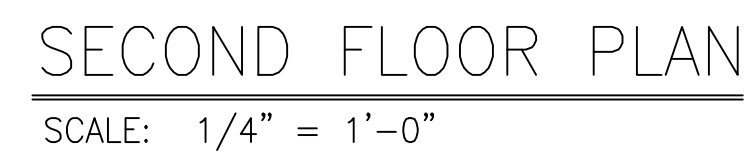
CONSTRUCTION TYPE - V-B  
USE GROUP - R-5  
AREA :  
- FIRST FLOOR : 1,145 SQ FT  
- SECOND FLOOR : 1,473 SQ FT  
TOTAL : 2,618 SQ FT  
- GARAGE : 471 SQ FT

CODE USED :  
INTERNATIONAL RESIDENTIAL CODE  
IRC - 2018 NEW JERSEY EDITION.



ANDREW PODBEREZNIAK R.A.  
11 High Point Drive  
Springfield N.J. 07081  
Tel: 973-493-9476  
Fax: 908-277-6007  
N.J. Lic # 12241

Date 05.07.20	Project Title NEW HOUSE 816 BALDWIN AVE., LINDEN, NJ	Job # 20-092
Scale AS NOTES		Dwg. # A - 1
Drawn by J.D.	Drawing Title FIRST FLOOR PLAN, FRONT ELEVATION. RIGHT SIDE ELEVATION	OF 2
Checked by A.P.	ZONING REVIEW	



Date 05.07.20	Project Title  NEW HOUSE 816 BALDWIN AVE., LINDEN, NJ	Job #  20-092
Scale AS NOTES		Dwg. #
Drawn by J.D.	Drawing Title SECOND FLOOR PLAN, REAR ELEVATION, LEFT SIDE ELEVATION	A - 2
Checked by A.P.	ZONING REVIEW	OF 2