

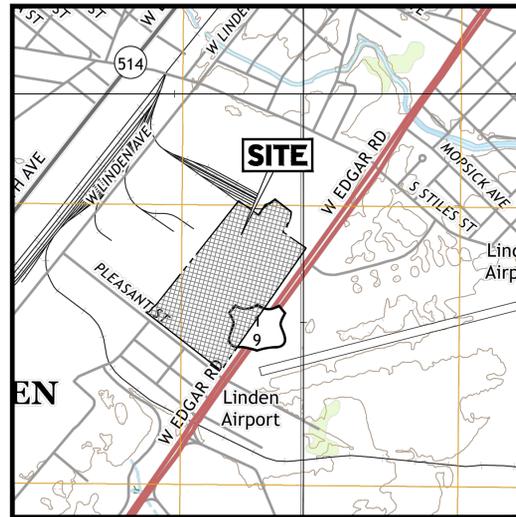
# AMENDED PRELIMINARY & FINAL MAJOR SITE PLAN

FOR  
LINDEN DEVELOPMENT, LLC

PROPOSED  
FREDDY'S FROZEN CUSTARD & STEAKBURGERS  
W/ DRIVE-THRU

BLOCK 469; LOT 38.05  
(FORMERLY BLOCK 469, LOT 38.01)  
PLEASANT STREET AND EDGAR ROAD (N.J.S.H. ROUTE 1 & 9)

CITY OF LINDEN  
UNION COUNTY, NEW JERSEY  
PCD ZONE; TAX MAP SHEET #96



**USGS MAP**  
SCALE: 1" = 1,000'  
SOURCE: U.S. GEOLOGICAL SURVEY



**KEY MAP**  
SCALE: 1" = 1,000'  
SOURCE: GOOGLE MAPS

**PROPERTY OWNERS LIST**  
WITHIN 200' RADIUS

BLOCK	LOT	OWNER	BLOCK	LOT	OWNER
469	23.01	SPG STILES STREET LLC 100 FRONT ST 8500 WEST CONSHOHOCKEN, PA 1938	470	19	LAVOURA, RUI V & MARIA L 120 ROBERTS RD COLONIA, NJ 07067
469	38.01	ELM REALTY INVESTMENT CO 1202 W ST GEORGE AVE LINDEN, NJ 07036	470	20.01	TRAWODZINSKI, WLODZIECH & WIONA KONOPCZAK 22 WINGLATORF RD CLARK, NJ 07066
469	38.02	DUKE LINDEN LLC 800 E 86TH ST SUITE 100 INDIANAPOLIS, IN 46240	470	20.02	AGNEW, JORDAN S & PATRYN W FORKON 824 HAMPDEN ST LINDEN, NJ 07036
469	38.04	DUKE LINDEN LLC 800 E 86TH ST SUITE 100 INDIANAPOLIS, IN 46240	470	20.03	DORNELIUS, MERICA 814 HAMPDEN ST LINDEN, NJ 07036
469	40	CONRAIL CO PROP TAX DEPT PO BOX 849 PHILADELPHIA, PA 19101	470	21	CARUSO, DOMENICO 814 HAMPDEN ST LINDEN, NJ 07036
469	42	CONRAIL ATT NORFOLK SOUTHERN TAX 3 COMMERCIAL PL, BOX 209 NORFOLK, VA 23510	470	22	SMITH, BOBBI 818 HAMPDEN ST LINDEN, NJ 07036
470	7.03	DUKE LINDEN LLC PO BOX 4039 INDIANAPOLIS, IN 46240	470	23	RAMOS, FAUSTO & MELBA GRANGEL 812 HAMPDEN ST LINDEN, NJ 07036
470	8	MERCK SHARP & DOHME CORP WHYTEHOUSE STATION, NJ 08889	470	24	ESTRONGA, ANIXIA M 818 HAMPDEN ST LINDEN, NJ 07036
470	9.01	LINDEN DEVELOPMENT LLC % META LLC 8434 DODD AVE, STE 200 DALLAS, TX 75225	470	25.01	BERISHA, SHERIF & ASHA - RAZE 806 HAMPDEN ST LINDEN, NJ 07036
470	9.02	LINDEN DEVELOPMENT LLC % META LLC 8434 DODD AVE, STE 200 DALLAS, TX 75225	470	25.02	KAMEL, RAMON 100-21 SEVENTY FIFTH AVE FLUSHING, NY 11357
470	9.03	LINDEN DEVELOPMENT LLC % META LLC 8434 DODD AVE, STE 200 DALLAS, TX 75225	500	30.01	BERISHA, SHERIF & ASHA - RAZE 806 HAMPDEN ST LINDEN, NJ 07036
470	12	OCHAL, LEONARD 824 HAMPDEN ST LINDEN, NJ 07036	500	30.01	CANDIA REALTY CO INC 130 US 11 T LINDEN, NJ 07036
470	13	PAUL ROCOCO & ANNAMARIE 818 HAMPDEN ST LINDEN, NJ 07036	500	31.03	CITY OF LINDEN 201 W LINDEN AVE LINDEN, NJ 07036
470	14	HUSSEIN, YASMIN & ZAHID 818 HAMPDEN ST LINDEN, NJ 07036	500	31.04	AVIATION MARKETPLACE LLC % MILBROOK 42 BAYVIEW AVE MANHASSET, NY 11030
470	15	MELLET, JOSEPH J & JOAN M 812 HAMPDEN ST LINDEN, NJ 07036	500	31.05	PMO NEW JERSEY LLC 2382 RESGAR CT WOODBRIDGE, VA 22192
470	16	KUMAR, BHUPENDER 802 HAMPDEN ST LINDEN, NJ 07036	500	31.06	HD DEVELOPMENT OF MD CO HOME DEPOT 804 10542 TAX DEPT 034 ATLANTA, GA 30348
470	17	JOSEFINA, HERCULES - SANCHEZ, ELBA 804 HAMPDEN ST LINDEN, NJ 07036	500	31.07	AVIATION MARKETPLACE LLC % MILBROOK 42 BAYVIEW AVE MANHASSET, NY 11030
470	18	MWANG, PATRICK 802 HAMPDEN ST LINDEN, NJ 07036			

**ALSO TO BE NOTIFIED:**

MICHAEL F. STONAC, MANAGER ENGINEERING DESIGN  
ONE ELIZABETHTOWN PLAZA, 3RD FL, EAST  
LINDEN, NJ 07036

SONIA SHORT  
GIS SUPERVISOR  
NEW JERSEY AMERICAN WATER COMPANY, INC.  
1205 LAUREL OAK ROAD  
WOODBRIDGE, NJ 07095

PUBLIC SERVICE ELECTRIC & GAS CO.  
89 PARK PLAZA, 180  
NEWARK, NJ 07102

ELIZABETHTOWN GAS COMPANY  
6000 BALLET  
100 GREEN LANE  
LINDEN, NJ 07036

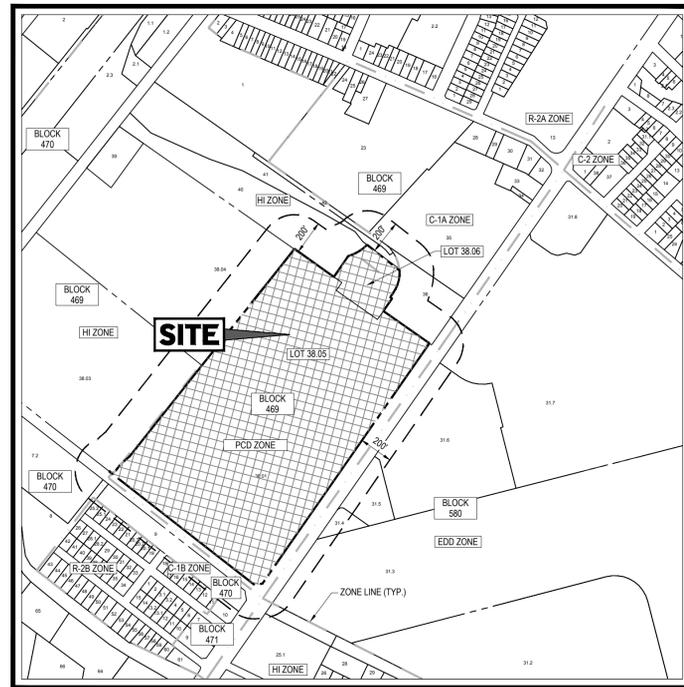
VERIZON CO THOMAS GRABOWSKI  
441 GEORGE ROAD  
NORTH BRUNSWICK, NJ 08902

COMCAST CABLE  
800 BARNWAY AVENUE  
LINDEN, NJ 07036

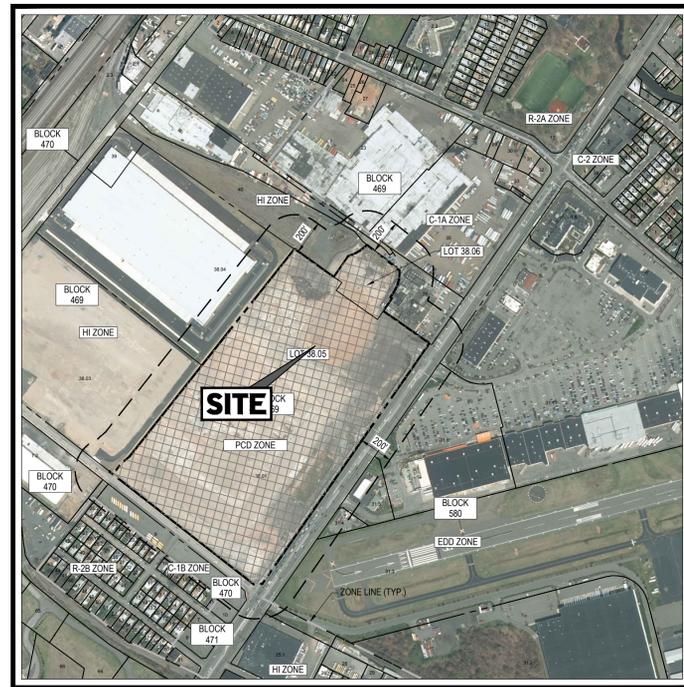
SUN PIPE LINE COMPANY  
RIGHT OF WAY DEPT 26TH FLOOR  
1801 MARKET STREET  
PHILADELPHIA, PA 19103-1699

SUNOCO PIPE LINE L.P.  
RIGHT OF WAY DEPT  
MONTFELLO COMPLEX  
520 FRETOWN ROAD  
SPRING SPRING, PA 19068

NEW JERSEY DEPARTMENT OF TRANSPORTATION  
1005 PARKWAY AVENUE  
TRENTON, NJ 08620



**TAX MAP**  
SCALE: 1" = 500'  
SOURCE: CITY OF LINDEN TAX MAPS



**AERIAL MAP**  
SCALE: 1" = 500'  
SOURCE: NEW JERSEY GEOGRAPHICAL INFORMATION WEBSITE (NJGIN)

PREPARED BY

**BOHLER**

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

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PROJECT No.: JS200709  
DRAWN BY: OU  
CHECKED BY: JWH  
DATE: 07/20/2020  
CAD ID: JS200709-CDS-0C

**AMENDED PRELIMINARY & FINAL MAJOR SITE PLAN**  
FOR  
**LINDEN DEVELOPMENT, LLC**  
PROPOSED FREDDY'S FROZEN CUSTARD & STEAKBURGERS WITH DRIVE-THRU  
BLOCK 469; LOT 38.05  
PLEASANT STREET AND EDGAR ROAD  
(N.J.S.H. ROUTE 1 & 9)  
CITY OF LINDEN  
UNION COUNTY, NEW JERSEY

**BOHLER**  
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WARREN, NJ 07059  
Phone: (908) 685-6300  
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www.BohlerEngineering.com  
NJ CERT. OF AUTHORIZATION NO. 246A28191700 & M6000122

**D.F. WISOTSKY**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 42951  
CONNECTICUT LICENSE NO. 22008  
NEW YORK LICENSE NO. 073745

SHEET TITLE:  
**COVER SHEET**  
SHEET NUMBER:  
**C-101**  
ORG. DATE - 07/20/2020

**DRAWING SHEET INDEX**

SHEET TITLE	NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
ZONING NOTES SHEET	C-103
OVERALL SITE LAYOUT PLAN	C-301
SITE LAYOUT & DEMOLITION PLAN	C-302
GRADING PLAN	C-401
DRAINAGE AND UTILITIES PLAN	C-501
SOIL AND EROSION CONTROL PLAN	C-601
SOIL AND EROSION CONTROL NOTES & DETAILS	C-602
LANDSCAPE PLAN	C-701
LANDSCAPE NOTES & DETAILS	C-702
LIGHTING PLAN	C-703
DETAIL SHEET	C-901
DETAIL SHEET	C-902
DETAIL SHEET	C-903
ALTA SURVEY (BY OTHERS)	1 OF 1

**CITY APPROVAL BLOCK**  
CITY OF LINDEN BOARD APPROVAL  
APPROVED BY THE CITY OF LINDEN PLANNING BOARD.

BOARD SECRETARY	DATE
BOARD CHAIRPERSON	DATE
BOARD ENGINEER	DATE

**COUNTY APPROVAL BLOCK**  
UNION COUNTY BOARD APPROVAL  
APPROVED BY THE CITY OF LINDEN PLANNING BOARD.

BOARD SECRETARY	DATE
BOARD CHAIRPERSON	DATE
BOARD ENGINEER	DATE

C:\2020\2020709\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\JS200709-CDS-0C---LAYOUT-C-101 COVER



ZONING TABLE			
ZONE: PCD PROPOSED USE: FAST FOOD RESTAURANT (PERMITTED) BLOCK: 469, LOT: 38.05			
APPLICANT / OWNER INFORMATION			
APPLICANT:	LINDEN DEVELOPMENT, LLC 8144 WALNUT HILL LANE, SUITE 1200 DALLAS, TEXAS 75231		
PROPERTY OWNER:	LINDEN DEVELOPMENT, LLC 8144 WALNUT HILL LANE, SUITE 1200 DALLAS, TEXAS 75231		
BULK REQUIREMENTS			
ITEM	CODE	PERMITTED	PROPOSED DEVELOPMENT LOT*
MIN. LOT SIZE (INDIVIDUAL LOT DEVELOPMENT)	§ 31-11.4.b(1)	30,000 SF	30,092 SF
MIN. STREET FRONTAGE (INDIVIDUAL LOT DEVELOPMENT)	§ 31-11.4.b(2)	100'	0''
MIN. TRACT SIZE (OVERALL TRACT DEVELOPMENT)	§ 31-11.4.a(1)	30 ACRES	42.54 ACRES (NO CHANGE)
MIN. TRACT STREET FRONTAGE ALONG ROUTE 1 & 9 RIGHT OF WAY (OVERALL TRACT DEVELOPMENT)	§ 31-11.4.a(2)	1,700'	2,094.36' (NO CHANGE)
MIN. LOT DEPTH (INDIVIDUAL LOT DEVELOPMENT)	§ 31-11.4.b(6)	150'	203.5'
PRINCIPAL BUILDING SETBACK (<100,000 SF) FROM ROUTE 1 & 9	§ 31-11.4.a(3)(a)	50'	100'
PRINCIPAL BUILDING SETBACK FROM PLEASANT STREET	§ 31-11.4.a(3)(b)	30'	1,152.6'
PRINCIPAL BUILDING SETBACK FROM ALL OTHER ZONE BOUNDARIES	§ 31-11.4.a(3)(c)	25'	42' (NO CHANGE)
MAX. BUILDING HEIGHT FOR RETAIL AND RESTAURANT	§ 31-11.4.c(1) and (2)	2-1/2 STORIES 50'	1 STORY 24'
MAX. BUILDING COVERAGE	§ 31-11.4a(4)	50%	8.61 % (2,591 SF)
MIN. BUILDING COVERAGE	§ 31-11.4a(4)	5%	8.61 % (2,591 SF)
MAX. IMPERVIOUS COVERAGE**	§ 31-11.4a(5)	90%	78.08 % (23,496.4 SF)
MIN. SIDEWALK WIDTH	§ 31-11.9(c)	5'	5'
LANDSCAPED ISLANDS BETWEEN DRIVE-THRU LANES/CIRCULATE ISLES	§ 31-19.8.1	3-5'	0'
TRASH ENCLOSURE DISTANCE FROM ANY INTERNAL PROPERTY LINE	§ 31-11.6.e.2	10'	5.2'
KEY =			VARIANCE REQUIRED

\* APPROVED LOT H (OUT-LOT #6) ON PREVIOUSLY APPROVED MAJOR SUBDIVISION PLAN (SD-748-20)  
\*\* VARIANCE PREVIOUSLY GRANTED  
\*\*\* § 31-11.4.a(5): A LOT WHOSE PRINCIPAL BUILDING IS SET BACK ONE HUNDRED (100) FEET OR MORE FROM THE ROUTE 1 & 9 RIGHT-OF-WAY SHALL BE PERMITTED A MAXIMUM COVERAGE OF NINETY PERCENT (90%).

NOTES:  
- SOME IMPROVEMENTS ARE ALSO PROPOSED ON LOT I (OUT-LOT #7) ON PREVIOUSLY APPROVED MAJOR SUBDIVISION PLAN (SD-748-20).  
- PARKING SPACES ON LOT I (OUT-LOT #7) ARE TO BE UTILIZED BY FUTURE OWNER/OCCUPANT OF LOT I (OUT-LOT #7)

PARKING REQUIREMENTS		
ITEM	PERMITTED	PROPOSED
MIN. STALL SIZE	9' X 18'	9' X 18'
MIN. NUMBER OF PARKING SPACES FOR EATING AND DRINKING ESTABLISHMENTS	1 PER 150 SF TOTAL EATING AND DRINKING ESTABLISHMENTS = 2,591 SF 2,591 SF / 150 = 17.27 SPACES = 18 SPACES	38 SPACES
MIN. OFF-STREET PARKING SETBACK TO FRONT PROPERTY LINE	5'	9.95'
MIN. OFF-STREET PARKING SETBACK TO SIDE AND REAR PROPERTY LINES	3'	0'
INTERIOR ONE-WAY AISLE WIDTH FOR PARKING AREAS	15'	10'
INTERIOR TWO-WAY AISLE WIDTH FOR PARKING AREAS	24'	24'
MIN. SIZE OF DRIVEWAY	12'	18'
MAX. SIZE OF DRIVEWAY EXCLUSIVE OF CURB RETURN RADIUS	36'	27'
MAX. CURB RETURN RADIUS WENTRANCE TO PUBLIC STREET	**10'	N/A
KEY =		VARIANCE REQUIRED

\*\*RETAIL USE REQUIRES LARGER RADIUS TO ALLOW FOR TRUCK DELIVERY TRAFFIC.

ADA PARKING REQUIREMENTS	
ITEM	PROPOSED
PROPOSED PARKING SPACES	38
REQUIRED ADA SPACES	2
PROPOSED ADA SPACES	2

SIGNAGE REQUIREMENTS		
USE OF INDIVIDUALLY-MOUNTED LETTERS SHALL BE LIMITED TO THE FRONTS OF STORES (§ 31-11.8f(3a))		
WALL SIGNS FOR RETAIL USE-§ 31-11.8f(3d)		
ITEM	PERMITTED	PROPOSED
MAX. AREA	2 SF PER 1 LF OF MOUNTING WALL OR 300 SF MAX.  MOUNTING WALLS: SOUTH: 37 LF X 2 = 74 SF WEST: 73 LF X 2 = 146 SF EAST: 73 LF X 2 = 146 SF	SOUTH: 74.4 SF WEST: 74.4 SF EAST: 74.4 SF
MAX. WIDTH	50% OF STOREFRONT WIDTH SOUTH: 37 LF X 0.5 = 18.5 LF WEST: 73 LF X 0.5 = 36.5 LF EAST: 73 LF X 0.5 = 36.5 LF	SOUTH: 16.81 LF WEST: 16.81 LF EAST: 16.81 LF
MAX. MOUNTING HEIGHT ABOVE GRADE	20'	15.46'
MAX. LETTER HEIGHT	30"	15"
	36" FOR UPPER CASE LETTERS	37.5" (UPPER CASE LETTER)
KEY =		VARIANCE REQUIRED



REVISIONS				
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PROJECT No.: JS200709  
DRAWN BY: OU  
DATE: 07/20/2020  
CHECKED BY: JWH  
CAD ID: JS200709-CDS-0C

PROJECT: **AMENDED PRELIMINARY & FINAL MAJOR SITE PLAN** FOR **LINDEN DEVELOPMENT, LLC** PROPOSED FREDDY'S FROZEN CUSTARD & STEAKBURGERS WITH DRIVE-THRU  
BLOCK 469; LOT 38.05 PLEASANT STREET AND EDGAR ROAD (N.J.S.H. ROUTE 1 & 9) CITY OF LINDEN UNION COUNTY, NEW JERSEY

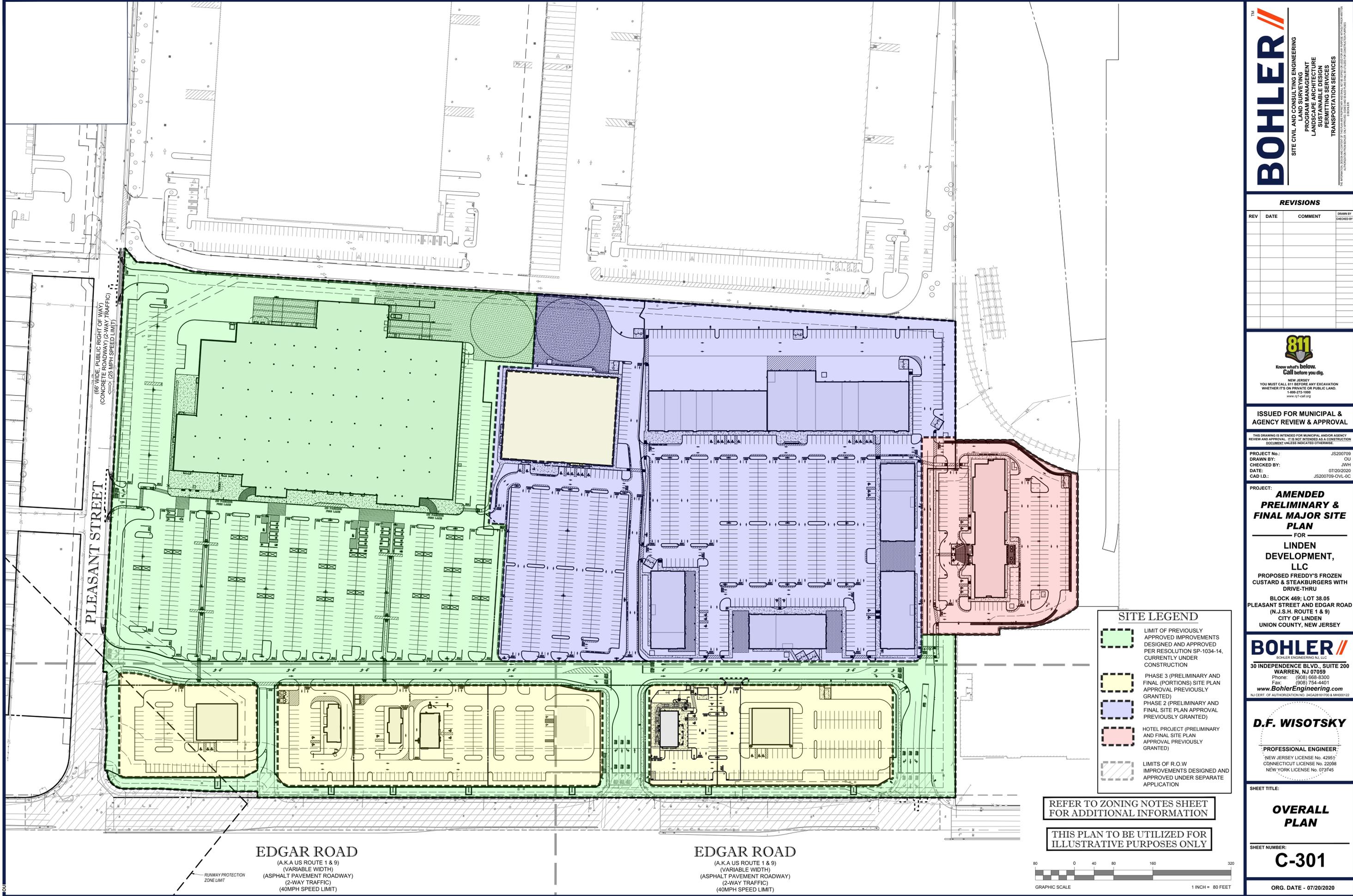
**D.F. WISOTSKY**

PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 42951  
CONNECTICUT LICENSE No. 22098  
NEW YORK LICENSE No. 073745

SHEET TITLE: **ZONING NOTES SHEET**

SHEET NUMBER: **C-103**

ORG. DATE - 07/20/2020



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**AMENDED PRELIMINARY & FINAL MAJOR SITE PLAN**  
 FOR  
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 PROPOSED FREDDY'S FROZEN CUSTARD & STEAKBURGERS WITH DRIVE-THRU  
 BLOCK 469; LOT 38.05  
 PLEASANT STREET AND EDGAR ROAD  
 (N.J.S.H. ROUTE 1 & 9)  
 CITY OF LINDEN  
 UNION COUNTY, NEW JERSEY

**BOHLER**  
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 NJ CERT. OF AUTHORIZATION No. 24GA28161700 & MH000122

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 NEW JERSEY LICENSE No. 42951  
 CONNECTICUT LICENSE No. 22098  
 NEW YORK LICENSE No. 073745

SHEET TITLE:  
**OVERALL PLAN**  
 SHEET NUMBER:  
**C-301**  
 ORG. DATE - 07/20/2020

**SITE LEGEND**

	LIMIT OF PREVIOUSLY APPROVED IMPROVEMENTS DESIGNED AND APPROVED PER RESOLUTION SP-1034-14, CURRENTLY UNDER CONSTRUCTION
	PHASE 3 (PRELIMINARY AND FINAL (PORTIONS) SITE PLAN APPROVAL PREVIOUSLY GRANTED)
	PHASE 2 (PRELIMINARY AND FINAL SITE PLAN APPROVAL PREVIOUSLY GRANTED)
	HOTEL PROJECT (PRELIMINARY AND FINAL SITE PLAN APPROVAL PREVIOUSLY GRANTED)
	LIMITS OF R.O.W IMPROVEMENTS DESIGNED AND APPROVED UNDER SEPARATE APPLICATION

REFER TO ZONING NOTES SHEET FOR ADDITIONAL INFORMATION

THIS PLAN TO BE UTILIZED FOR ILLUSTRATIVE PURPOSES ONLY



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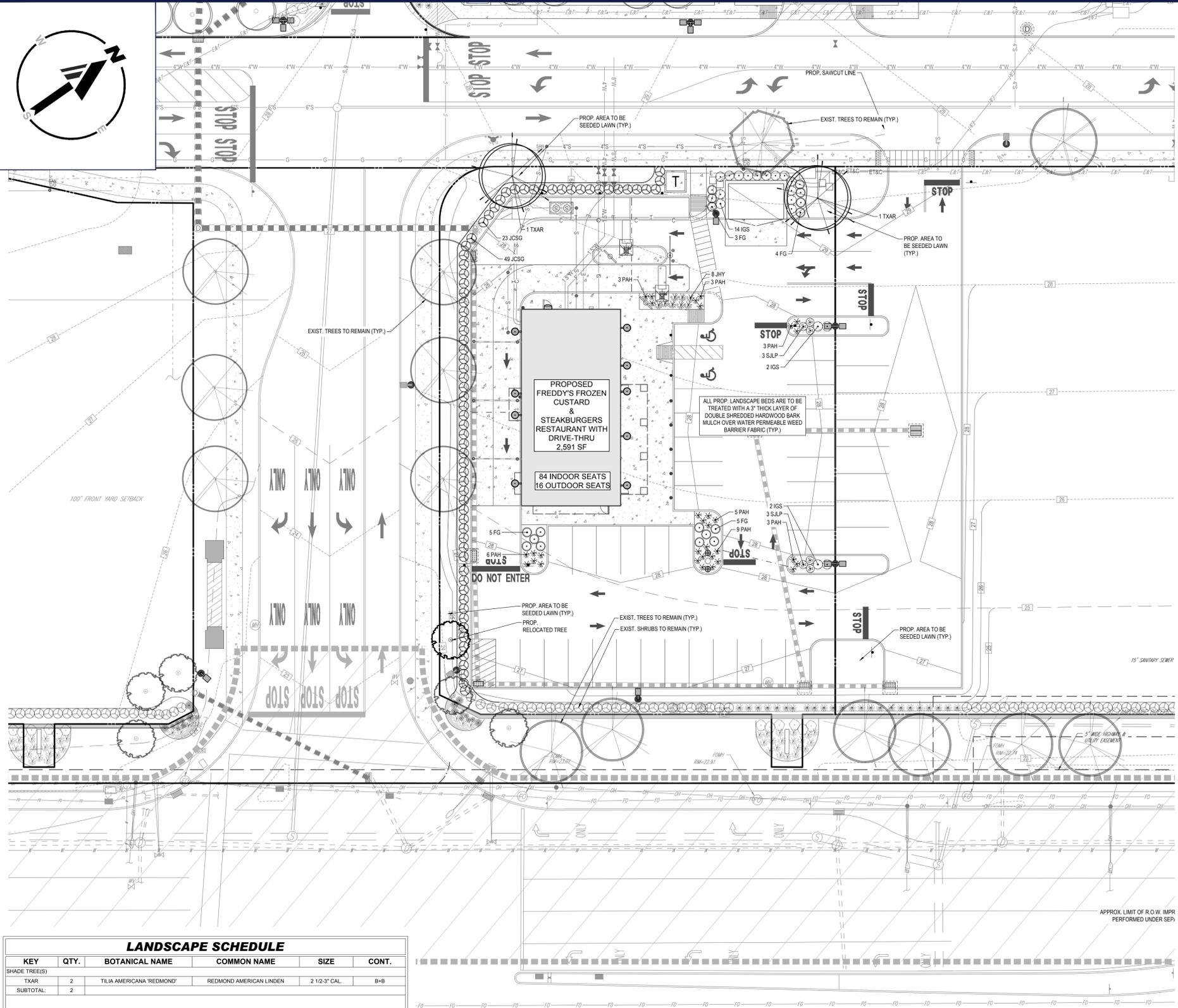












**LANDSCAPE SCHEDULE**

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
<b>SHADE TREE(S)</b>					
TXAR	2	TILIA AMERICANA REDMOND	REDMOND AMERICAN LINDEN	2 1/2-3" CAL.	B+B
SUBTOTAL:	2				
<b>DECIDUOUS SHRUB(S)</b>					
FG	17	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	24-30"	CONTAINER
SJLP	6	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	24-30"	CONTAINER
SUBTOTAL:	23				
<b>EVERGREEN SHRUB(S)</b>					
IGS	18	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24-30"	CONTAINER
JCSG	72	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	24-30" SPRD.	B+B
JHY	8	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	ANDORRA JUNIPER	18-24" SPRD.	CONTAINER
SUBTOTAL:	98				
<b>ORNAMENTAL GRASS(S)</b>					
PAH	32	PENNISETUM AL OPEUCROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	2 GAL.	CONTAINER
SUBTOTAL:	32				

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN WILL DICATE.

**EDGAR ROAD**

(A.K.A US ROUTE 1 & 9)

**IRRIGATION NOTE**  
 CONTRACTOR TO PROVIDE AN IRRIGATION DESIGN FOR BOTH LAWN AND BED AREAS. DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR TO VERIFY STATIC PRESSURE PRIOR TO DESIGN. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRESSURE REDUCING DEVICES REQUIRED TO MEET MAXIMUM PRESSURE REQUIREMENT. SYSTEM DESIGN IS TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS AND CONTROLLERS. ALL SLEEVES IN PAVEMENT AREAS MUST BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFLOW PREVENTION DEVICE INSTALLATION AND PERMITTING.

**GENERAL LANDSCAPE NOTES:**

- THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
- ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH THE LANDSCAPE SPECIFICATION #2.C., UNLESS OTHERWISE STATED ON THIS PLAN.
- ALL PROPOSED LANDSCAPE BEDS ARE TO BE TREATED WITH A 2" THICK LAYER OF 3" GREY RIVER STONE OVER WATER PERMEABLE WEED BARRIER FABRIC, UNLESS OTHERWISE STATED ON THIS PLAN.
- SHRUBS PLANTED ALONG HEAD IN PARKING STALLS ARE TO BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG.
- PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER ENGINEERING AND THE MUNICIPAL ENGINEER AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- AT THE TIME OF PARKING LOT CONSTRUCTION AND PLANT ISLAND INSTALLATION, ALL PLANTER ISLANDS ARE TO BE EXCAVATED TO THE FULL WIDTH OF THE PARKING PLANTER ISLAND AND THROUGH THE FULL DEPTH OF COMPACTED SUBGRADE TO REMOVE ALL COMPACTED MATERIAL OR OTHER MATERIAL HARMFUL TO PLANT HEALTH AND BACKFILLED WITH CLEAN PLANTING FILL.

**OWNER MAINTENANCE RESPONSIBILITIES**

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITH VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS/EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

**COMPLIANCE CHART**

SECTION	REQUIREMENT	CALCULATIONS	COMPLIANCE
	A. ALL OPEN AREAS NOT UTILIZED FOR PARKING AREAS, DRIVEWAYS, STREETS OR ROADS, RECREATIONAL FACILITIES, PATIOS OR TERRACES SHALL BE PROVIDED WITH LAWNS OR OTHER SUITABLE GROWING GROUND COVER, TREES AND SHRUBS.	ALL OPEN AREAS NOT UTILIZED FOR PARKING AREAS, DRIVEWAYS, STREETS OR ROADS HAVE BEEN PROVIDED WITH LAWN AND LANDSCAPING.	COMPLIES
	B. CONTINUOUS EVERGREEN SCREENING MAY BE REQUIRED ALONG THE TRACT BOUNDARY LINE, SUCH SCREENING TO BE NO LESS THAN THREE (3) FEET HIGH WHEN PLANTED. IN ADDITION, THE PLANNING OR ZONING BOARD OF ADJUSTMENT MAY, IF CONDITIONS WARRANT, REQUIRE SUPPLEMENTAL SCREENING BY A SOLID FENCE UP TO SIX (6) FEET IN HEIGHT.	EXISTING EVERGREEN SCREENING WILL REMAIN ALONG US ROUTE 1 & 9 (EDGAR ROAD).	COMPLIES
	C. SHADE TREES SHALL BE PROVIDED ALONG WALKS, DRIVEWAYS, PARKING AREAS, STREETS AND ROADS. SCREENING OR BUFFERS, CONSISTING OF BERRMS, FENCING AND/OR LANDSCAPING MAY BE REQUIRED AROUND RECREATION, UTILITY AND REFUSE DISPOSAL AREAS AND AROUND OTHER SIMILAR AREAS AT THE DISCRETION OF THE PLANNING BOARD.	EXISTING SHADE TREES ON SITE ARE TO REMAIN.	COMPLIES
	D. ALL LANDSCAPING SHALL BE MAINTAINED IN GOOD CONDITION AND SHALL BE REPLACED WHERE NECESSARY. WHERE YARDS, PATIOS AND GARDENS IN MULTIFAMILY DEVELOPMENTS ARE SHIELDED WITH MASONRY WALLS, SUCH WALLS SHALL CONFORM ARCHITECTURALLY TO AND BE OF SIMILAR MATERIALS AS THE PRINCIPAL BUILDINGS IN THE DEVELOPMENT.	ALL PROPOSED AND EXISTING LANDSCAPING WILL BE MAINTAINED IN GOOD CONDITION AND REPLACED WHERE NECESSARY. REFER TO OWNER MAINTENANCE NOTE ON THIS PLAN.	COMPLIES
CHAPTER XXXI LAND DEVELOPMENT.	E. NOT LESS THAN TEN (10%) PERCENT OF THE AREA OF EACH PARKING AREA IN EXCESS OF TWENTY THOUSAND (20,000) SQUARE FEET SHALL BE SUITABLY LANDSCAPED TO MINIMIZE NOISE, GLARE AND OTHER NUISANCE CHARACTERISTICS AS WELL AS TO ENHANCE THE AESTHETICS, ENVIRONMENT AND ECOLOGY OF THE SITE AND SURROUNDING AREA.	PROPOSED PARKING AREA: 17,797 SF	NOT APPLICABLE
SECTION 29-11 DESIGN STANDARDS	F. OFF-STREET PARKING AREAS SHALL BE EFFECTIVELY SCREENED BY A BERM, FENCE OR WALL NOT LESS THAN TWO (2) TO THREE (3) FEET IN HEIGHT, MAINTAINED IN GOOD CONDITION, OR A SCREENING HEDGE OR OTHER NATURAL LANDSCAPING. THE SCREENING AS REQUIRED BY THIS SECTION MAY BE WAIVED BY THE BOARD IF, IN ITS JUDGMENT, BECAUSE OF TOPOGRAPHIC OR OTHER UNUSUAL CONDITIONS, SAID SCREENING IS NOT NECESSARY TO PROTECT ADJOINING PROPERTY.	OFF-STREET PARKING AREA HAS BEEN SCREENED FROM US ROUTE 1 & 9 BY AN EXISTING EVERGREEN HEDGE.	COMPLIES
§29-11.9 LANDSCAPING AND SCREENING.	G. PARKING LOTS IN EXCESS OF TWENTY THOUSAND (20,000) SQUARE FEET SHALL BE PLANTED WITH TREES AT A RATE OF ONE (1) TREE PER TWELVE (12) SPACES. PARKING SHALL NOT EXCEED MORE THAN TWENTY (20) SPACES WITHOUT A TREE ISLAND BREAK.	PROPOSED PARKING AREA: 17,797 SF	NOT APPLICABLE
	K. LANDSCAPE BUFFERS FACING ROUTE 1/9 SHALL MEET THE FOLLOWING GUIDELINES: 1. A FIFTEEN (15) TO TWENTY (20) FOOT LANDSCAPE BUFFER SHALL BE REQUIRED ALONG THE RIGHT-OF-WAY AND SHALL INCLUDE CANOPY TREES AND GROUND COVER. OPTIONAL UNDERSTORY AND SHRUBS ARE PERMITTED WITHIN THE BUFFER AND MUST FOLLOW THE STANDARDS PROVIDED HEREIN.	EXISTING LANDSCAPE BUFFER ALONG US ROUTE 1 & 9 IS TO REMAIN.	COMPLIES
	K. 4. PERMITTED FEATURES WITHIN FRONT BUFFERS, SIDEWALKS, SIGNS, LOW WALL AND WROUGHT IRON PICKET FENCES. ADDITIONAL FEATURES SUCH AS A KNEE WALLS AND DECORATIVE WROUGHT IRON PICKET FENCING ARE PERMISSIBLE WITH THE FOLLOWING STANDARDS: (A) FRONTAGE WALL, UP TO ONE-THIRD (1/3) OF THE REQUIRED PERCENTAGE MAY CONSIST OF FRONTAGE WALLS. THE FRONTAGE WALL SHALL BE A MINIMUM HEIGHT OF EIGHTEEN (18) INCHES WITH A MAXIMUM HEIGHT OF TWENTY (24) INCHES AND A MINIMUM WIDTH OF TWELVE (12) INCHES. THE WALL SHALL BE CONSTRUCTED OF STONE, BRICK OR STUCCO. THE MATERIAL SHALL COMPLEMENT THE PRIMARY BUILDING'S ARCHITECTURE. (B) 1. A MINIMUM 15-FOOT WIDE LANDSCAPED BUFFER SHALL BE ESTABLISHED ALONG THE COMMON LOT LINE OF ANY ADJOINING RESIDENTIAL ZONE.	EXISTING LANDSCAPE WALL WITH LANDSCAPE PLANTINGS IS TO REMAIN ALONG US ROUTE 1 & 9.	COMPLIES
	(B) 2. BUFFERS SHALL BE LANDSCAPED WITH DECIDUOUS AND CONIFEROUS PLANTINGS TO PROVIDE A YEAR-ROUND VISUAL SCREEN. (C) 1. THE MAIN ENTRANCE ROAD SHOULD INCLUDE STREET TREES ON EACH SIDE OF THE ROADWAY, AND SUCH TREES SHOULD BE OF A DIFFERENT SPECIES THAN TREES PLANTED IN PARKING AREAS. (C) 2. SPACING BETWEEN TREES SHOULD BE A MAXIMUM 50 FEET UNLESS ANOTHER VERTICAL ELEMENT, SUCH AS A DECORATIVE LIGHT POLE, PIER ELEVATION, OR SIGN IS USED BETWEEN THE TREES. (D) 1. STREET TREES AND OTHER PLANT MATERIAL SHOULD BE PROVIDED IN LANDSCAPED ISLANDS AT THE ENDS OF PARKING ROWS IN EXCESS OF 25 SPACES. (D) 2. LANDSCAPED ISLANDS SHOULD BE AT LEAST FIVE (5) FEET IN WIDTH. (E) 1. ANY GROUND LEVEL UTILITY CABINETS SHOULD BE FENCED OR LANDSCAPED, OR BOTH. (E) 2. OUTDOOR TRASH AND RECYCLING BINS, SHEDS, AND STORAGE AREAS SHOULD BE LOCATED A MINIMUM OF 30 FEET FROM ANY STREET OR PROPERTY LINE AND 10 FEET FROM ANY INTERNAL PROPERTY LINE, AND SHALL BE APPROPRIATELY SCREENED AND/OR LANDSCAPED.	-(SEE ABOVE SECTION 31-11.6 (A) 1.) SHADE TREES HAVE BEEN PROPOSED ALONG MAIN ENTRANCE AT FORTY (40) FEET ON CENTER. SHADE TREES HAVE BEEN PROPOSED ALONG MAIN ENTRANCE AT FORTY (40) FEET ON CENTER. PROPOSED SHRUBS AND LAWN AREAS HAVE BEEN PROVIDED AT THE ENDS OF ALL PARKING ISLANDS. PROPOSED LANDSCAPE ISLANDS ARE A MINIMUM WIDTH OF FIVE (5) FEET. PROPOSED GROUND LEVEL UTILITIES HAVE BEEN LANDSCAPED APPROPRIATELY. ALL TRASH ENCLOSURES HAVE BEEN SCREENED APPROPRIATELY.	NOT APPLICABLE
CHAPTER XXXI ZONING.	SECTION 31-11. PCD-PLANNED COMMERCIAL DEVELOPMENT DISTRICT.		COMPLIES
§31-11.6 LANDSCAPING AND SCREENING.	(D) 1. STREET TREES AND OTHER PLANT MATERIAL SHOULD BE PROVIDED IN LANDSCAPED ISLANDS AT THE ENDS OF PARKING ROWS IN EXCESS OF 25 SPACES. (D) 2. LANDSCAPED ISLANDS SHOULD BE AT LEAST FIVE (5) FEET IN WIDTH. (E) 1. ANY GROUND LEVEL UTILITY CABINETS SHOULD BE FENCED OR LANDSCAPED, OR BOTH. (E) 2. OUTDOOR TRASH AND RECYCLING BINS, SHEDS, AND STORAGE AREAS SHOULD BE LOCATED A MINIMUM OF 30 FEET FROM ANY STREET OR PROPERTY LINE AND 10 FEET FROM ANY INTERNAL PROPERTY LINE, AND SHALL BE APPROPRIATELY SCREENED AND/OR LANDSCAPED.		COMPLIES
CHAPTER XXXI ZONING.	SECTION 31-27. PARKING AND LOADING REQUIREMENTS.		COMPLIES
§31-27.18 LANDSCAPING AND SCREENING REQUIREMENT.			COMPLIES

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PROJECT No.: JS200709  
 DRAWN BY: OU  
 DATE: 07/20/2020  
 CAD ID: JS200709-LND-0C

**AMENDED PRELIMINARY & FINAL MAJOR SITE PLAN FOR LINDEN DEVELOPMENT, LLC**

PROPOSED FREDDY'S FROZEN CUSTARD & STEAKBURGERS WITH DRIVE-THRU

BLOCK 469; LOT 38.05  
 PLEASANT STREET AND EDGAR ROAD  
 (N.J.S.H. ROUTE 1 & 9)  
 CITY OF LINDEN  
 UNION COUNTY, NEW JERSEY

**BOHLER**  
 BOHLER ENGINEERING NJ, LLC  
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 NJ CERT. OF AUTHORIZATION NO. 246A28191700 & M6000122

**D.F. WISOTSKY**

PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 42951  
 CONNECTICUT LICENSE NO. 22098  
 NEW YORK LICENSE NO. 073745

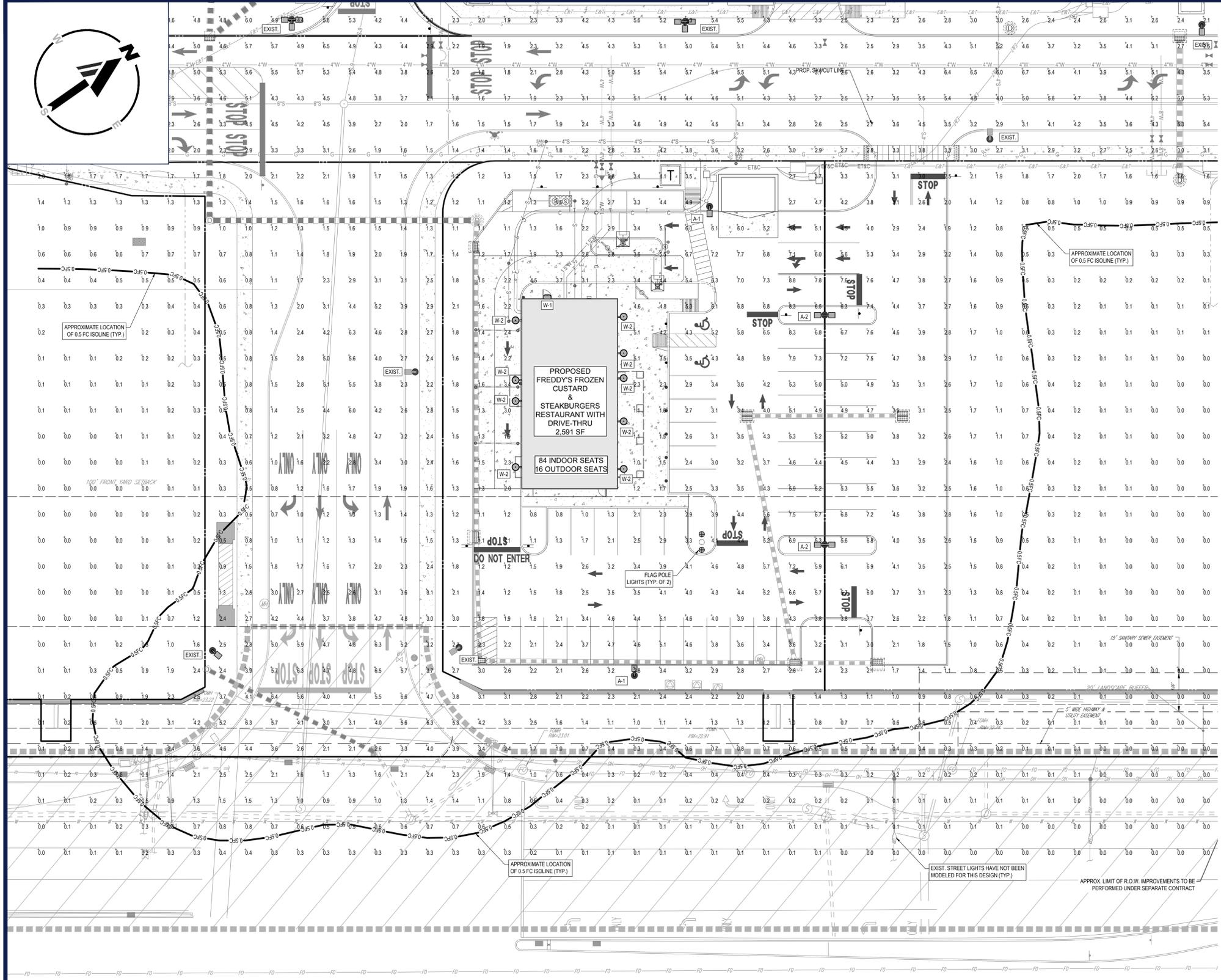
SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**C-701**

ORG. DATE - 07/20/2020

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### EDGAR ROAD

(A.K.A US ROUTE 1 & 9)

#### LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	MTG. HT.	DESCRIPTION	ARRNGMNT.	LUMENS	LLF	COLOR TEMP.	IES FILENAME	CATALOG #
	2	A-1	28'	GE EVOLVE (EALP) SERIES LED AREA LIGHT (25 FT POLE ON 3 FT BASE)	SINGLE	25,000	0.900	5000K	EALP03_J4AF750_N-D-01-8LCK-F	EALP-03-XXX-J4-AF-7-50-N-D-01-8LCK-F
	2	A-2	28'	GE EVOLVE (EALP) SERIES LED AREA LIGHT (25 FT POLE ON 3 FT BASE)	BACK-TO-BACK	25,000 (X2)	0.900	5000K	EALP03_J4AF750_N-D-01-8LCK-F	EALP-03-XXX-J4-AF-7-50-N-D-01-8LCK-F
	1	W-1	8'	HUBBELL OUTDOOR LIGHTING LNC LITEPACK LED WALL PACK LIGHT	SINGLE	2,095	0.900	5000K	LNC-9L-6K-4IES	LNC-9L-XXX-6K-4-BLT
	9	W-2	15.2'	ACCENT LIGHTING W512 GOOSENECK SERIES LED WALL SCONCE	SINGLE	1,820	0.900	3000K	W51243/ES43/LWTM/LED209/W/3L/120/27V FINISH: 43-RED	W51243/ES43/LWTM/LED209/W/3L/120/27V FINISH: 43-RED

NOTES: 1. EXISTING AREA LIGHTS HAVE BEEN MODELED FOR THIS DESIGN AND HAVE BEEN LABELED AS 'EXIST' ON THE PLAN. ALL EXISTING LIGHTS ARE ASSUMED TO BE IN GOOD WORKING CONDITION.  
 2. CONTRACTOR TO VERIFY EXISTING LIGHT ARE IN WORKING CONDITION AND NOTIFY PROJECT ENGINEER IF ANY FIXTURES NEED TO BE REPLACED.  
 3. ANY EXISTING STREET LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN.  
 4. PROPOSED FLAG POLE LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN. REFER TO ARCHITECTURAL PLANS FOR ORDERING INFORMATION.

#### CALCULATION SUMMARY

LOCATION	UNITS	AVG.	MAX.	MIN.	AVG./MIN.	MAX./MIN.
FREDDY'S CUSTARD PARKING AREA	FC	3.81	8.8	0.8	4.76	11.00
FREDDY'S CUSTARD WALKWAYS	FC	3.17	6.7	0.7	4.53	9.57

REFER TO DETAIL SHEET FOR LIGHT POLE FOUNDATION DETAIL & LIGHT POLE SPECIFICATIONS

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



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PROJECT No.: JS200709  
 DRAWN BY: OU  
 CHECKED BY: JWH  
 DATE: 07/20/2020  
 CAD ID: JS200709-LGT-0C

PROJECT: **AMENDED PRELIMINARY & FINAL MAJOR SITE PLAN FOR LINDEN DEVELOPMENT, LLC**  
 PROPOSED FREDDY'S FROZEN CUSTARD & STEAKBURGERS WITH DRIVE-THRU  
 BLOCK 469; LOT 38.05  
 PLEASANT STREET AND EDGAR ROAD (N.J.S.H. ROUTE 1 & 9)  
 CITY OF LINDEN  
 UNION COUNTY, NEW JERSEY

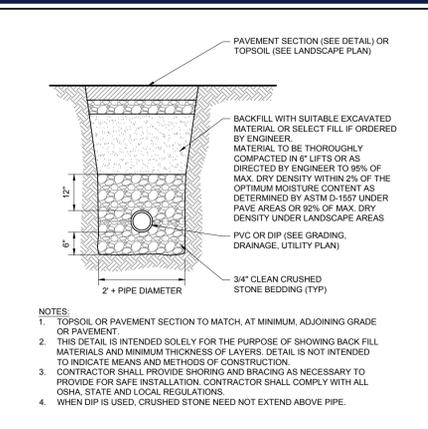
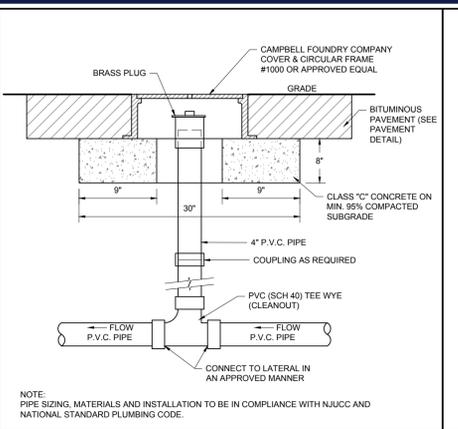
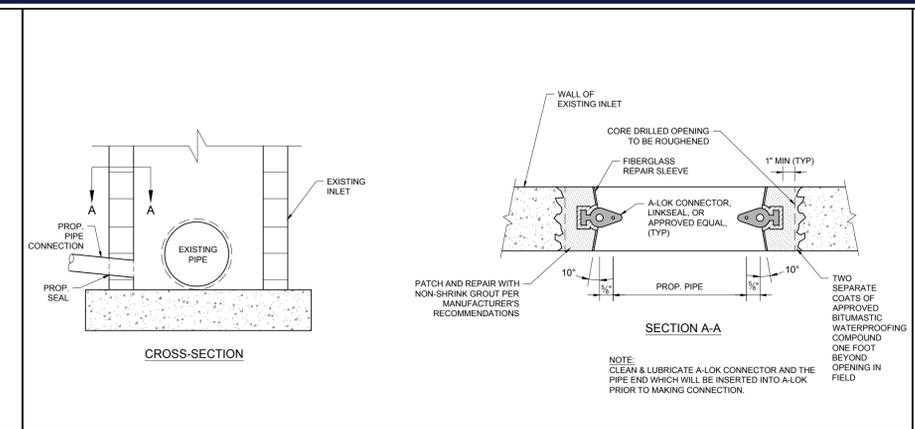
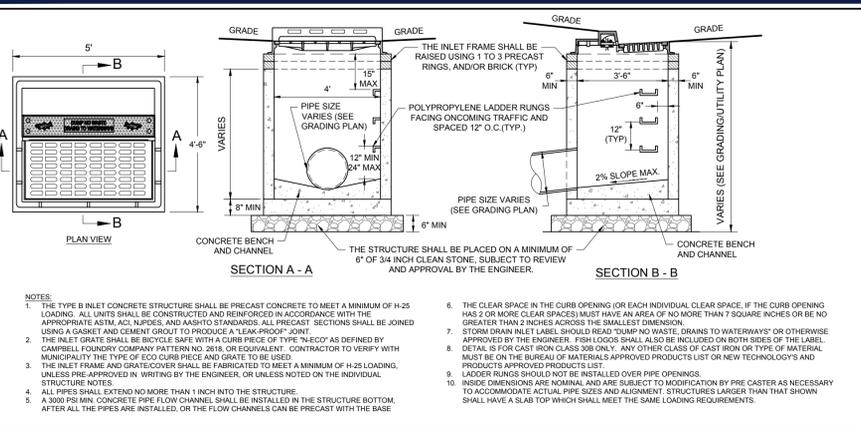
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NEW YORK LICENSE No. 073745

SHEET TITLE: **LIGHTING PLAN**  
 SHEET NUMBER: **C-703**  
 ORG. DATE - 07/20/2020

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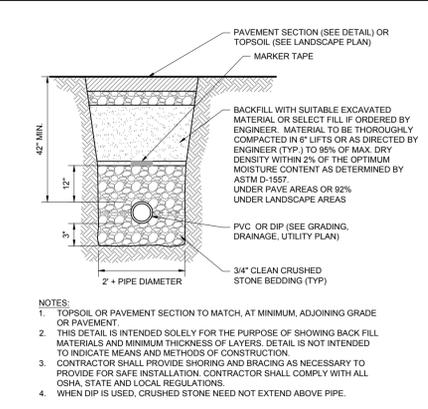
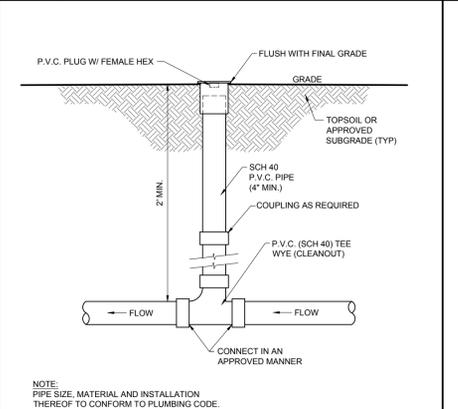
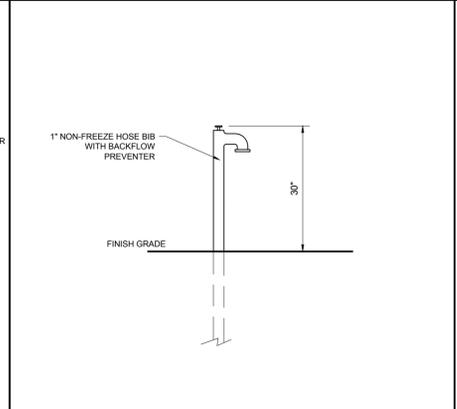
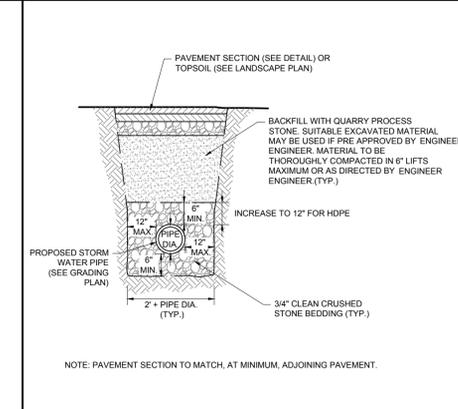
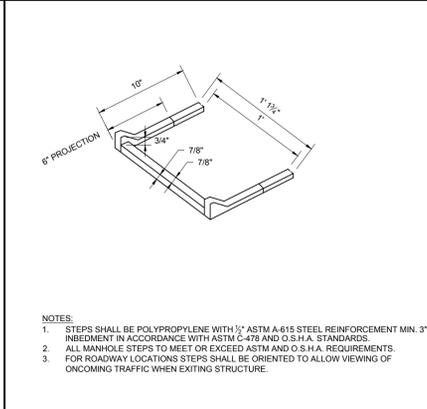
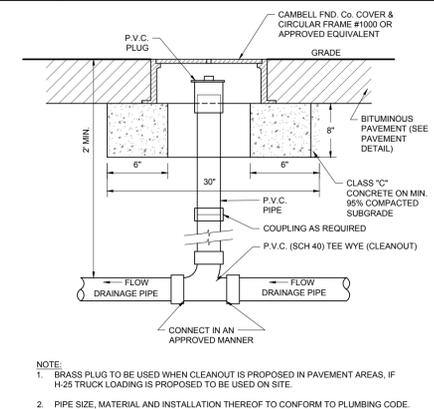


**1 TYPE 'B' INLET WITH ECO CURB PIECE DETAIL**  
 NOT TO SCALE (G020308-01-012013)

**2 PIPE TO EXISTING INLET CONNECTION DETAIL**  
 NOT TO SCALE (G029902-012013)

**3 SEWER CLEANOUT WITHIN PAVED AREAS DETAIL**  
 NOT TO SCALE (U030101-012013)

**4 SANITARY TRENCH DETAIL**  
 NOT TO SCALE (U039908-042019)



**5 ROOF DRAIN CLEANOUT IMPERVIOUS SURFACES DETAIL**  
 NOT TO SCALE (G020107-012013)

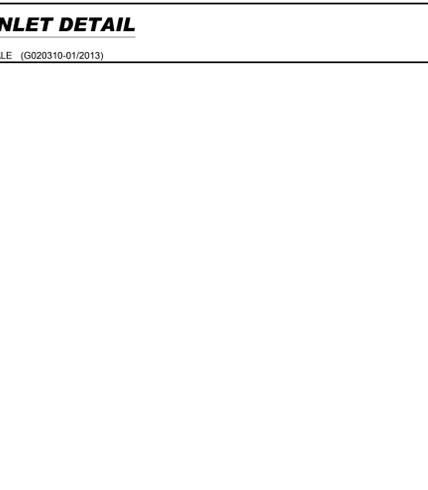
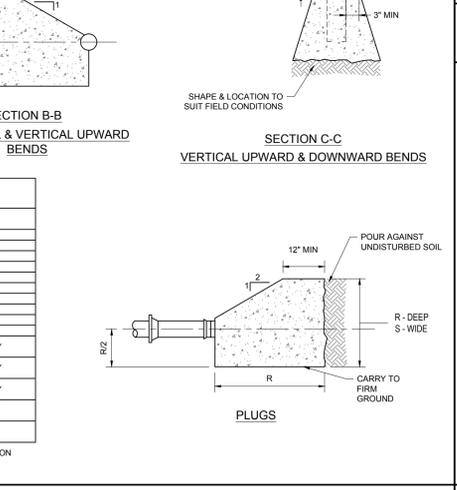
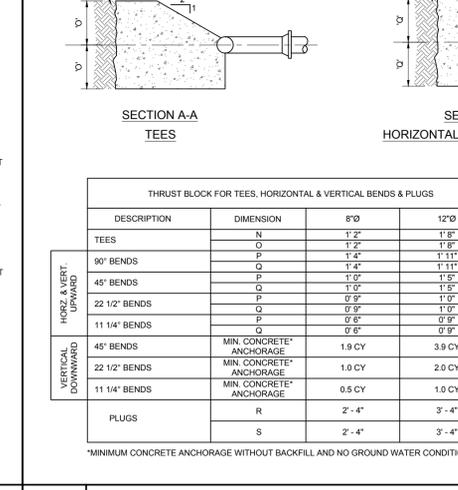
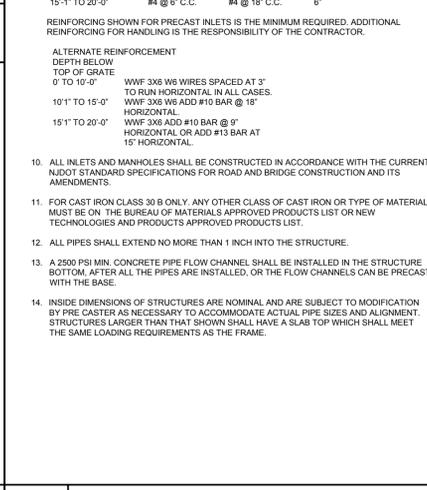
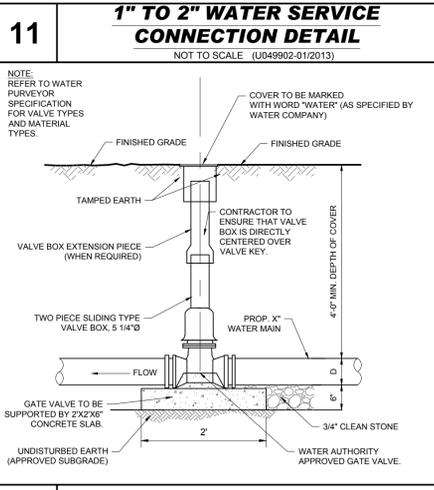
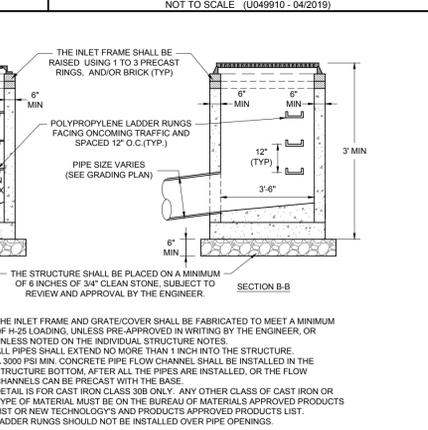
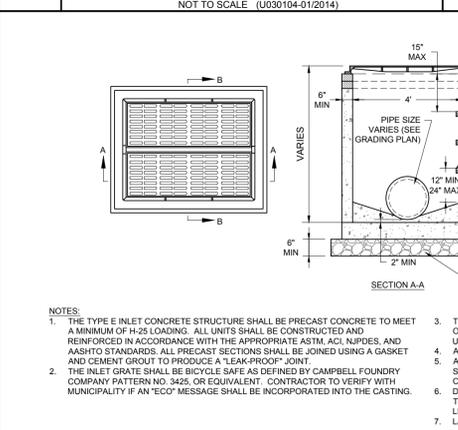
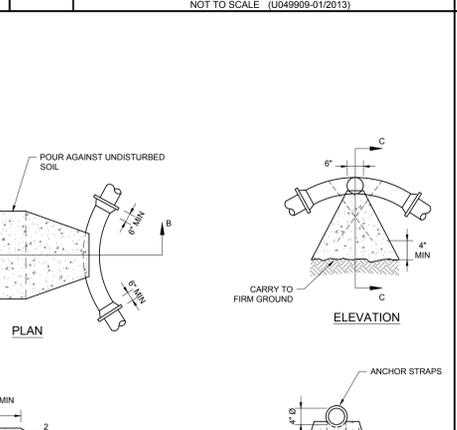
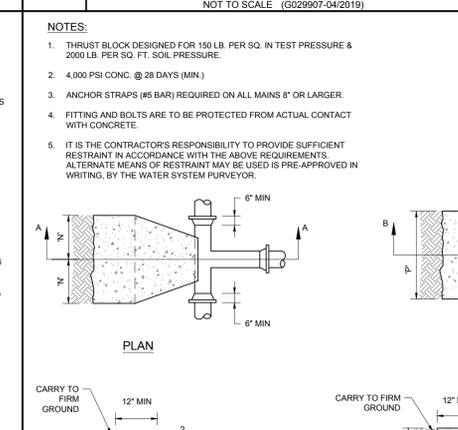
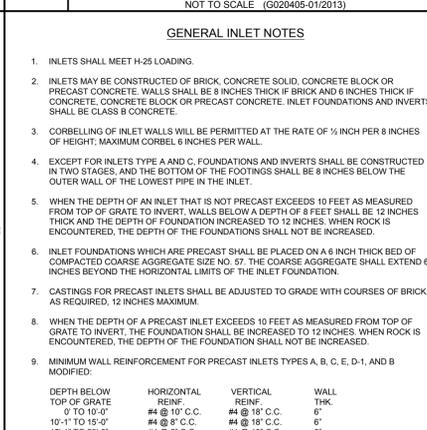
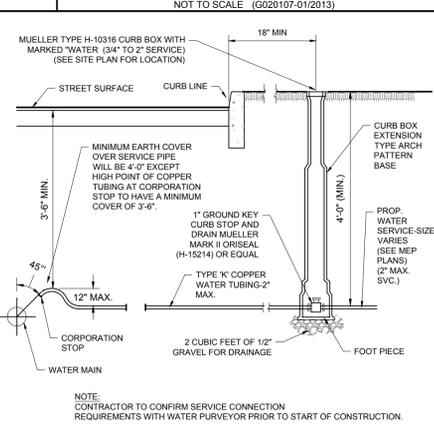
**6 MANHOLE POLYPROPYLENE LADDER RUNG DETAIL**  
 NOT TO SCALE (G020405-012013)

**7 STORM TRENCH & PAVEMENT RESTORATION DETAIL**  
 NOT TO SCALE (G029907-042019)

**8 FROST PROOF HOSE BIB DETAIL**  
 NOT TO SCALE (U049909-012013)

**9 SEWER CLEANOUT WITHIN LANDSCAPE AREAS DETAIL**  
 NOT TO SCALE (U030104-012014)

**10 WATER PIPE INSTALLATION DETAIL**  
 NOT TO SCALE (U049910-042019)



**12 GATE VALVE AND BOX DETAIL**  
 NOT TO SCALE (U049904-012013)

**13 GENERAL INLET NOTES**  
 NOT TO SCALE (G020001-012013)

**14 THRUST BLOCK DETAILS**  
 NOT TO SCALE (U049905-012017)

**15 TYPE 'E' INLET DETAIL**  
 NOT TO SCALE (G020310-012013)

**16 2HS SUPRASAFE BOX DETAIL**  
 NOT TO SCALE

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**PROJECT No.:** JS200709  
**OU:**  
**DRAWN BY:** JWH  
**DATE:** 07/20/2020  
**DATE:** JS200709-CDS-0C  
**PROJECT:**  
**AMENDED PRELIMINARY & FINAL MAJOR SITE PLAN**  
**FOR**  
**LINDEN DEVELOPMENT, LLC**  
**PROPOSED FREDDY'S FROZEN CUSTARD & STEAKBURGERS WITH DRIVE-THRU**  
**BLOCK 469; LOT 38.05**  
**PLEASANT STREET AND EDGAR ROAD (N.J.S.H. ROUTE 1 & 9)**  
**CITY OF LINDEN**  
**UNION COUNTY, NEW JERSEY**

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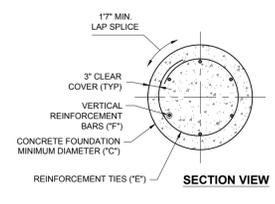
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**DETAIL SHEET**

**SHEET NUMBER:**  
**C-902**

**ORG. DATE - 07/20/2020**

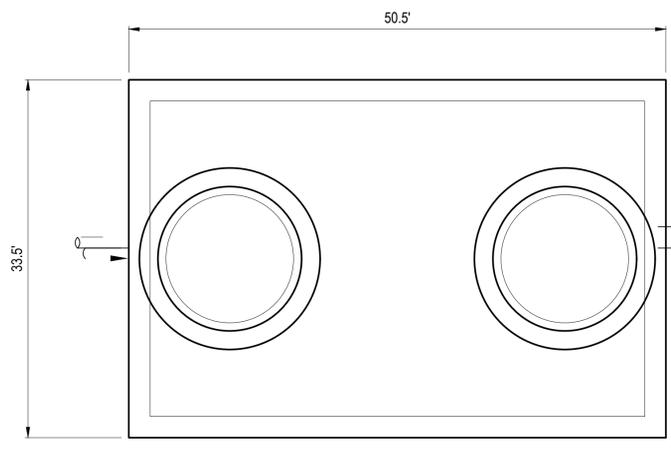
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LIGHT POLE FOUNDATION SCHEDULE	
MAXIMUM HEIGHT ABOVE GRADE "A" **	28'-0"
ASSUMED AVERAGE POLE DIAMETER "B"	8"
# OF FIXTURES	DOUBLE
MINIMUM FOUNDATION DIAMETER "C"	30"
MINIMUM FOUNDATION DEPTH "D"	6'-4"
REINFORCING TIES "E"	#4 TIES @ 12" C-C (BY #6 BARS EQUALLY SPACED)
VERTICAL HOOKED REINFORCEMENT "F"	1"

**LIGHT POLE FOUNDATION NOTES**

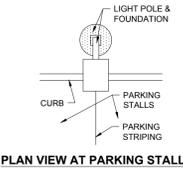
- THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS, COORDINATE WITH ALL CONTRACT DRAWINGS, PROJECT SHOP DRAWINGS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ENSURE NO CONFLICTS ARISE BETWEEN LIGHT POLE FOUNDATIONS, STRUCTURES, AND UTILITIES. IF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DESIGN PLANS ARISE, THE ENGINEER MUST BE NOTIFIED IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS TO HAVE A GEOTECHNICAL ENGINEER, LICENSED IN THE PROJECT'S STATE, ON SITE TO INSPECT FILL, MONITOR FILL COMPACTION AND TO VERIFY SUBGRADE ALLOWABLE BEARING CAPACITY AND SOIL DESIGN CRITERIA PRIOR TO CONSTRUCTION IN ACCORDANCE TO THE DESIGN ASSUMPTIONS STATED. UNSUITABLE MATERIALS FOUND MUST BE REMOVED OR BE REMEDIATED AS PER THE DIRECTION OF THE ON SITE GEOTECHNICAL ENGINEER.
- IF CONDITIONS IN THE FIELD ARE DIFFERENT THAN THOSE INDICATED, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT APPROPRIATE SELECT BACKFILL IS USED, AND THOROUGHLY COMPACTED TO 98% MAX. DENSITY ASTM D 698.
- STRUCTURAL CONCRETE AND CONCRETING PRACTICES SHALL CONFORM WITH ACI-318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE," DETAILS ARE TO BE IN ACCORDANCE WITH ACI-318, "MANUAL OF STANDARD PRACTICE, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT," FORM WORK SHALL CONFORM ACI-347 "GUIDE TO FORM WORK FOR CONCRETE," UNLESS OTHERWISE NOTED ON THE CONTRACT DOCUMENTS.
- CONCRETE MUST BE NORMAL WEIGHT STONE AGGREGATE WITH THE STATED MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS. HISTORICAL DATA OR LABORATORY TESTS FOR THE PRELIMINARY DESIGN MIX IS TO BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION. THE WATER-CEMENT RATIO FOR THE PROPOSED MIX DESIGN MUST ACHIEVE AN AVERAGE 28-DAY STRENGTH OF 1,200 PSI GREATER THAN THE REQUIRED STRENGTH ON LABORATORY TEST RESULTS.
- CONCRETE IS TO HAVE A SLUMP NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
- EXPOSED CONCRETE IS TO BE AIR ENTRAINED, 6% (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
- CONCRETE TO BE CONSOLIDATED IN PLACE USING AN INTERNAL VIBRATOR.
- REINFORCING STEEL BARS SHALL BILLET STEEL ASTM A615, GRADE 60. ALL REINFORCEMENT TO BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS TO BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS. BAR SUPPORTS IN CONTACT WITH EXPOSED SURFACES TO BE PLASTIC TIPPED. ALL ACCESSORIES MUST BE GALVANIZED.
- ALL SPLICES OF REINFORCING BARS NOT INDICATED ARE TO BE LTS AS PER THE REINFORCING SPLICE SCHEDULE OR 40 BAR DIAMETERS. DISCONTINUOUS ENDS OF CONTINUOUS BARS ARE TO BE STANDARD HOOKS.
- IF CAVING OF DRILLED HOLES ARE ENCOUNTERED, CONTRACTOR SHALL PROVIDE BENTONITE SLURRY IN PERMANENT CASINGS FOR DRILLED CONCRETE PIER FOUNDATIONS.
- CONCRETE MUST ATTAIN 80% OF THE DESIGN STRENGTH OR CURE FOR A MINIMUM OF 7-DAYS PRIOR TO THE INSTALLATION OF THE LIGHT POLES OR ALL LIGHT POLES ARE TO BE SUITABLY BRACED AGAINST WIND LOADS DURING THE ABOVE MENTIONED TIMEFRAME.
- ALL ELECTRICAL COMPONENTS TO COMPLY WITH N.E.C.
- VERIFY WITH LOCATIONS SHOWN ON LIGHTING PLAN.
- CONTRACTOR IS TO RECORD ON A CLEAN COPY OF THE LIGHTING PLANS. THE LOCATION OF CONDUIT SUPPLYING POWER TO LIGHTS. A COMPLETED COPY OF THIS RECORD PLAN IS TO BE PROVIDED TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE WORK.
- UPON ACCEPTANCE OF THE COMPLETED WORK BY THE OWNER, THE OWNER IS RESPONSIBLE FOR APPROPRIATE MAINTENANCE OF THE LIGHTING SYSTEM.



- NOTES:**
- CONCRETE TO BE 5,000 PSI AT 28 DAYS. TOP SLAB DESIGNED FOR H15 TRAFFIC RATING.
  - PLUMBING CONTRACTOR IS TO VENT PER LOCAL CODES.
  - AVAILABLE FROM: E.C. BABBERT INC. CANAL WINCHESTER, OH OR LOCAL SUPPLIERS EQUAL PER LOCAL CODES.

**LIGHT POLE FOUNDATION DESIGN CRITERIA**

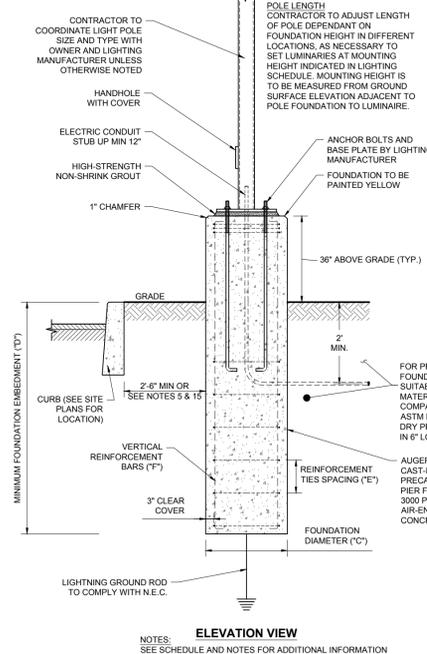
- MINIMUM REQUIRED ALLOWABLE BEARING PRESSURE = 1,000 PSF - ASSUMED (TO BE VERIFIED IN FIELD)
- SOIL FRICTION ANGLE = 30 DEG - ASSUMED (TO BE VERIFIED IN FIELD)
- SOIL DRY UNIT WEIGHT = 120 PCF - ASSUMED (TO BE VERIFIED IN FIELD)
- WIND PRESSURE = 30 PSF



**ALL PROPOSED LIGHT POLE FOUNDATIONS ARE TO BE A MINIMUM HEIGHT OF 36" ABOVE GRADE**

**36" HIGH EXPOSED BASE LIGHT POLE FOUNDATION DETAIL**

NOT TO SCALE (10/2010-04/2019)(MODIFIED)

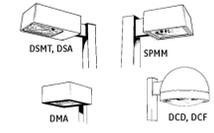


**ELEVATION VIEW**  
NOTES: SEE SCHEDULE AND NOTES FOR ADDITIONAL INFORMATION

1

**STEEL SQUARE STRAIGHT AREA LIGHTING POLES 10 TO 39 FEET (3 TO 12 METERS)**

**SUGGESTED LUMINAIRE APPLICATIONS**



- SPECIFICATION FEATURES**
- Square straight steel shaft
  - Dark bronze powder coated finish standard
  - Shaft lengths from 10 to 39 feet
  - Pole drilled for decorative mounting arm(s) or for top tenon mounting
  - Single or multiple luminaire mounting
  - Base cover includes two-piece ABS Plastic Full Cover
  - Anchor bolts, hardware, handhole cover, circle template, shaft cap or top tenon - all included

**POLE SELECTION TABLE**

Ordering Number	Nominal Height (ft)	Size (in.)	Wall Gauge	EPA (sq ft) MPH	80	90	100	Circle Size (in.)	Bolt Size (in.)	Approximate Weight (lbs)	Base Plate Size (in.)
ASS510X411DB	10	4	11	30.6	23.8	18.9	8.25	3/4X20	111	8.25X8.25X0.75	
12X411DB	12	4	11	24.4	18.9	14.8	8.25	3/4X20	123	8.25X8.25X0.75	
14X411DB	14	4	11	19.9	15.1	11.7	8.25	3/4X20	135	8.25X8.25X0.75	
15X411DB	15	4	11	15.9	11.8	8.9	8.25	3/4X20	130	8.25X8.25X0.75	
15X411DB	15	4	11	15.9	11.8	8.9	8.25	3/4X20	146	8.25X8.25X0.75	
18X411DB	18	4	11	12.6	9.2	6.7	8.25	3/4X20	158	8.25X8.25X0.75	
ASS520X411DB	20	4	11	9.6	6.7	4.5	8.25	3/4X20	162	8.25X8.25X0.75	
20X47DB	20	4	7	15.12	10.1	8.25	3/4X20	244	8.25X8.25X0.75		
20X57DB	20	5	7	28.1	21.4	16.2	11.0	3/4X20	245	11.0X11.0X1.00	
20X511DB	20	5	11	17.12	12.7	9.4	11.0	3/4X20	185	11.0X11.0X1.00	
ASS525X411DB	25	4	11	4.8	2.6	1.0	8.25	3/4X20	191	8.25X8.25X0.75	
25X47DB	25	4	7	10.8	7.7	5.4	8.25	3/4X20	273	8.25X8.25X0.88	
25X57DB	25	5	7	18.13	13.3	9.5	11.0	3/4X20	295	11.0X11.0X1.00	
25X511DB	25	5	11	9.8	6.3	3.7	11.0	3/4X20	241	11.0X11.0X1.00	
ASS530X411DB	30	5	11	4.7	2.6	1.0	3/4X20	263	11.0X11.0X1.00		
30X47DB	30	5	7	10.7	6.7	3.9	11.0	3/4X20	480	11.0X11.0X1.00	
30X57DB	30	6	7	19.0	13.2	9.0	12.0	1X40	558	12.5X12.5X1.00	
ASS535X47DB	35	5	7	5.9	2.5	1.0	3/4X20	490	11.0X11.0X1.00		
35X47DB	35	6	7	12.4	7.6	4.2	12.0	1X40	633	12.5X12.5X1.00	
ASS540X47DB	39	6	7	7.2	3.0	1.0	1X40	693	12.5X12.5X1.00		

Figure 1

**ORDERING NUMBER LOGIC (See Pole Selection Table for actual Ordering Numbers)**

A	S	S	S	10	11	DB
PRODUCT IDENT	POLE CROSS SECTION	SHAFT SHAPE	POLE MATERIAL	NOMINAL HEIGHT (FT)	SHOULDER DIMENSIONS (IN X IN) (HEIGHT)	FINISH
A = Area	S = Square	S = Square	S = Steel	10	4 x 400 7 x 7	DB = Dark bronze powder coated Standard
				12	5 x 500 7 x 7	
				14	6 x 600 7 x 7	
				16	8 x 800 7 x 7	
				20	10 x 1000 7 x 7	
				25	12.5 x 1250 7 x 7	
				30	15 x 1500 7 x 7	
				35	17.5 x 1750 7 x 7	
				39	20 x 2000 7 x 7	

**CONTRACTOR TO COORDINATE LIGHT POLE SPECIFICS W/ MANUFACTURER LIGHT POLE COLOR TO MATCH FIXTURE: BLACK**

**REFERENCES**  
See Page P-21 for Anchor Base Data  
See Page P-2 for Pole Selection Guidelines

GE Lighting Solutions • 1-888-MY-GE-LED • www.gelighting.com

2009/P-11

2

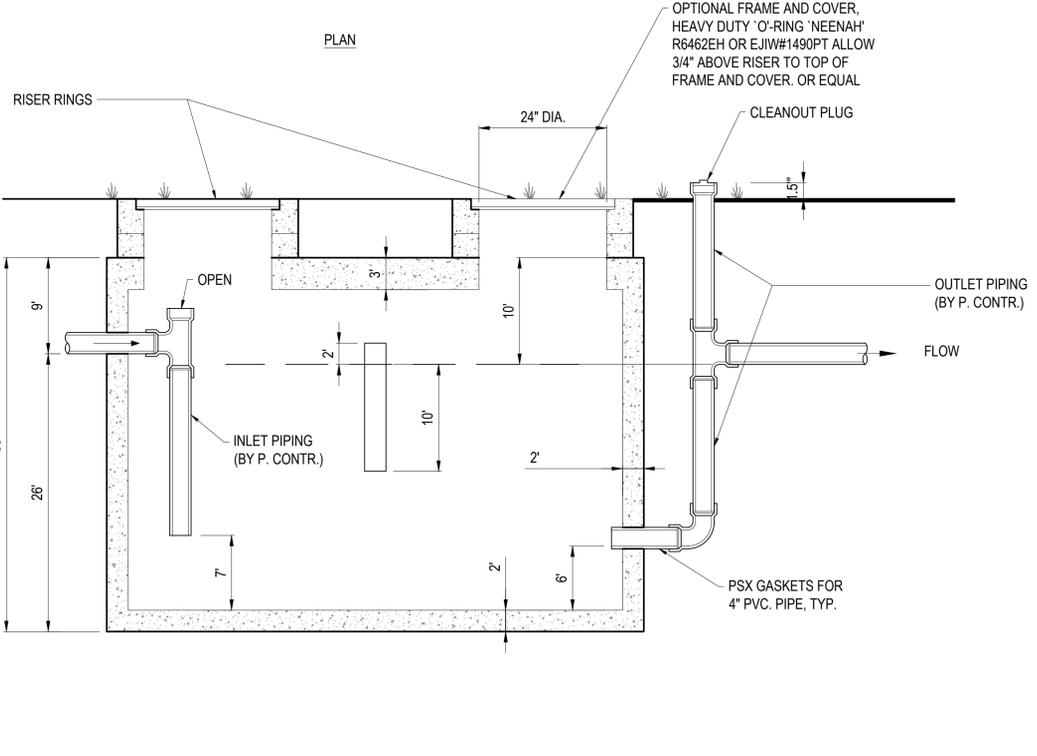
**LIGHT POLE SPECIFICATION**

NOT TO SCALE. SOURCE: GE LIGHTING SOLUTIONS

3

**1000 GALLON GREASE INTERCEPTOR**

N.T.S.



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DRAWN BY: OU  
DATE: 07/20/2020  
CAD ID: JS200709-CDS-0C

**AMENDED PRELIMINARY & FINAL MAJOR SITE PLAN FOR LINDEN DEVELOPMENT, LLC**  
PROPOSED FREDDY'S FROZEN CUSTARD & STEAKBURGERS WITH DRIVE-THRU  
BLOCK 469; LOT 38.05  
PLEASANT STREET AND EDGAR ROAD (N.J.S.H. ROUTE 1 & 9)  
CITY OF LINDEN  
UNION COUNTY, NEW JERSEY

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**DETAIL SHEET**  
SHEET NUMBER:  
**C-903**  
ORG. DATE - 07/20/2020

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