

DELIVERY STATION

1800 LOWER ROAD, LINDEN, NJ 07036

ISSUED FOR: PLANNING AND ZONING

DATE: 03/17/2020

CALL 811 NOTE:
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

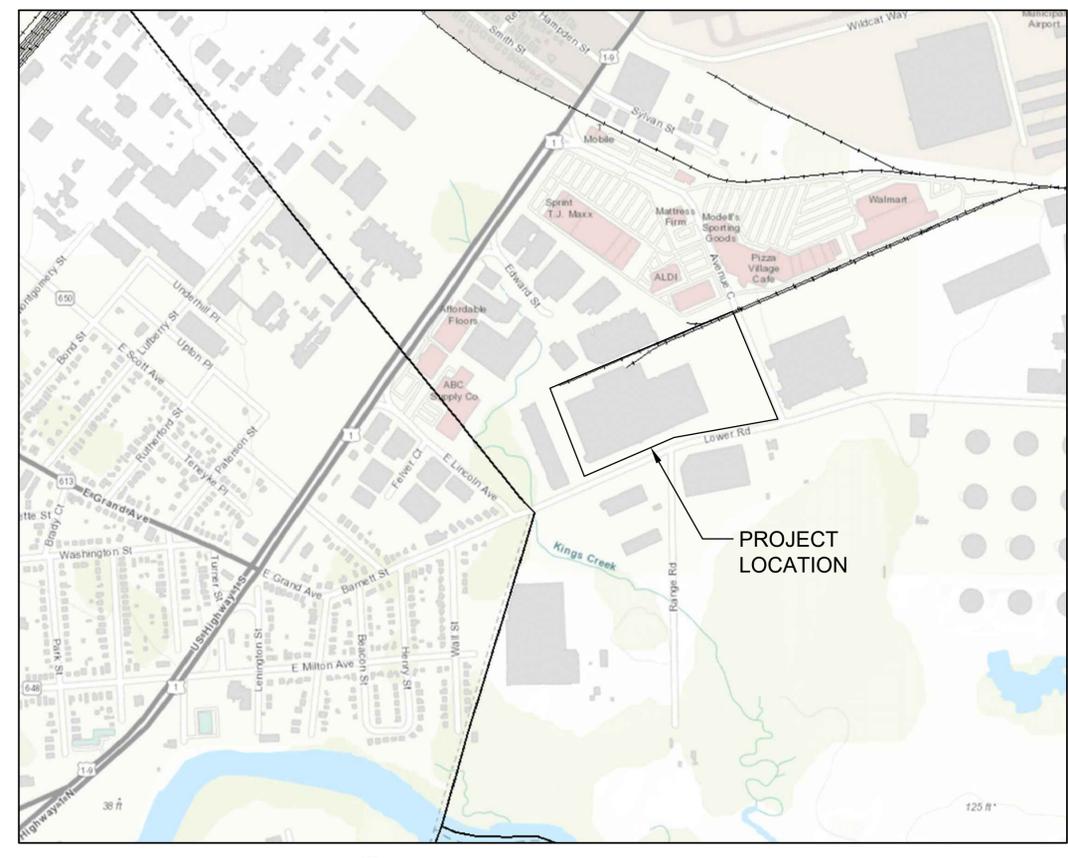
www.CALL811.com

OWNER & ADDRESS REPORT							03/10/20 Page 1
BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	ADD'L LOTS	
LINDEN							
JOSEPH A. PAPARO BLOCK 580 LOT 55							
580	5		4B	1050 EDWARD ST PARTNERS LLC 1410 BROADWAY #3301 NEW YORK, NY 10018	1050 EDWARD ST		
580	6		4B	PROSPERITY RESOURCES REALTY LLC 1080 EDWARD ST LINDEN, NJ 07036	1080 EDWARD ST		
580	7		15C	UNION COUNTY IMPROVEMENT AUTHORITY 1499 RTE 1 & 9 N +RAHWAY, NJ 07065	1075 EDWARD ST		
580	12.03		4A	EXTRA SPACE PROPERTIES 71 LLC PO BOX 2929 DALLAS, TX 75380	1800 LOWER RD REAR		
580	13		4A	LINDEN PLAZA LLC C/O WHARTON 8 E INDUSTRIAL WAY 2 FLR +EATONTOWN, NJ 07724	1601 W EDGAR RD		
580	14		1	LINDEN PLAZA LLC C/O WHARTON 8 E INDUSTRIAL WAY 2 FLR +EATONTOWN, NJ 07724	1600 LOWER RD REAR		
580	53.07		4B	1600 LOWER RD ASSOC LLC % HARTZ MT 400 PLAZA DR PO BOX 1515 +SECAUCUS, NJ 07096	1700 LOWER RD		
580	54		5B	CONRAIL C/O PROP TAX DEPT PO BOX 8499 PHILA, PA 19101	1700 LOWER RD REAR		
580	55		4B	CENTERPOINT LOWER LLC 1808 SWIFT DR OAK BROOK, IL 60523	1800 LOWER RD		
580	56		4B	TURTLE & HUGHES INC ATTN B CAPUTO 1900 LOWER RD LINDEN, NJ 07036	1900 LOWER RD		
580	57		4B	LANE AVENUE ASSOCIATES LLC 67 MOUNTAIN BLVD STE 201 WARREN, NJ 07059	1835 W EDGAR RD REAR		
581	7		4B	2001 LOWER RD CORP % HARTZ MT 400 PLAZA DR PO BOX 1515 SECAUCUS, NJ 07096	2001 LOWER RD		
581	8		15C	CITY OF LINDEN 301 W WOOD AVE LINDEN, NJ 07036	1901 LOWER RD	447, 6-A	
581	10		15C	CITY OF LINDEN 301 W WOOD AVE LINDEN, NJ 07036	1811 LOWER RD	447, 7-C	
581	11.01		4B	1805 REALTY CO LLC 1300 LOWER RD LINDEN, NJ 07036	1805 LOWER RD	447, 7A, 8A	
581	11.02		4A	RIDGE ASSOC C/O HARTZ MT 400 PLAZA DR PO BOX 1411 +SECAUCUS, NJ 07096	1701-1751 LOWER RD	447, 8B	

*SEE SHEET C2.0 FOR ADJACENT PROPERTY MAP

DJZ6 - ZONING STATISTICS				
LIGHT INDUSTRIAL ZONE REDEVELOPMENT				
CHAPTER 31 - ZONING				
LINDEN, NEW JERSEY				
ZONING STANDARDS	REQUIRED	EXISTING	PROPOSED	VARIANCE
MIN. LOT AREA (AC)	0.23 AC	17.99 AC	NO CHANGE	NO
MIN. LOT WIDTH (FT)	100 FT	1,273 FT	NO CHANGE	NO
MIN FRONT YARD SETBACK (FT)	30 FT	±85 FT	NO CHANGE	NO
MIN. SIDE YARD SETBACK (FT)	12 FT	±104 FT	NO CHANGE	NO
MIN. REAR YARD SETBACK (FT)	25 FT	±35 FT	NO CHANGE	NO
MAX. IMPERVIOUS COVERAGE (%)		92%	93%	NO
MAX. BLD. HEIGHT (FT/STORIES)	65 FT	40 FT	NO CHANGE	NO
MAX. FLOOR AREA RATIO	50%	29%	NO CHANGE	NO
MIN. LANDSCAPED OPEN SPACE AMENITY (AC)		1.38 AC	1.23 AC	NO

PARKING AND LOADING STATISTICS				
LINDEN, NEW JERSEY				
SECTION 31-27 - PARKING AND LOADING REQUIREMENTS				
REGULATIONS	REQUIRED	EXISTING	PROPOSED	VARIANCE
PARKING SPACES DIMENSION	9 FT X 18 FT	9 FT X 18 FT	9 FT X 18 FT	NO
aisle width	24 FT	25 FT	28 FT	NO
PARKING SPACES	DISTRIBUTION CENTER (1 SPACE FOR EVERY TWO (2) EMPLOYEES AT PEAK HOUR OF EMPLOYMENT OR ONE (1) SPACE FOR EVERY ONE THOUSAND (1000) SQUARE FEET OF BUILDING AREA, WHICHEVER IS GREATER) GFA = 311,000 SFT (311,000/1000) = 311 SPACES	88	656	NO
ADA PARKING	-----	6	6	NO
VEHICULAR USE SETBACK	5 FT FROM FRONT PROPERTY LINE 3 FT FROM SIDE OR REAR PROPERTY LINE	3.6 FT	NO CHANGE	NO
LOADING IN FRONT YARD	X			
LOADING SPACE DIMENSION	X			
LOADING SPACE	X			

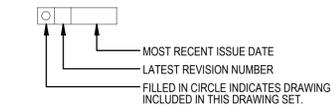


LOCATION MAP
NO SCALE

DRAWING INDEX

- - 03/17/20 G0.01 COVER SHEET
- - 03/17/20 C0.0 TOPOGRAPHIC SURVEY
- - 03/17/20 C1.0 SITE DEMOLITION PLAN
- - 03/17/20 C1.1 EROSION CONTROL PLAN
- - 03/17/20 C2.0 OVERALL CONTEXT PLAN
- - 03/17/20 C2.1 SITE LAYOUT PLAN
- - 03/17/20 C2.2 SITE SIGNAGE AND PAVEMENT PLAN
- - 03/17/20 C3.0 SITE GRADING AND DRAINAGE
- - 03/17/20 C4.0 SITE UTILITY PLAN
- - 03/17/20 C5.0 DETAILS SHEET
- - 03/17/20 C5.1 SITE SIGNAGE AND GRAPHICS DETAIL SHEET
- - 03/17/20 L1.0 LANDSCAPE PLAN

DRAWING LIST LEGEND



PROJECT DIRECTORY

OWNER
 CENTERPOINT LOWER LLC
 1808 SWIFT DRIVE
 OAK BROOK, IL 60523

APPLICANT
 AMAZON.COM SERVICES LLC
 410 TERRY AVENUE NORTH
 SEATTLE, WA 98109

ENGINEER
 PROGRESSIVE AE
 ATTN: JOSHUA MANION, PE
 1811 4 MILE ROAD NE
 GRAND RAPIDS, MI 49525
 TEL: 616-447-3455

CONTACTS & AGENCIES

STORM SEWER & ROW
 NICHOLAS PANTINA, CITY ENGINEER
 CITY OF LINDEN
 301 NORTH WOOD AVENUE
 3RD FLOOR LINDEN, ROOM 208
 NEW JERSEY, 07036
 (908) 474-8470

ELECTRIC
 PSE&C
 BUSINESS CUSTOMERS - NEW SERVICE
 1-855-249-7734
 CONSTRUCTION & MARKETING - NEW METERS
 1-800-722-0256

TELEPHONE
 VERIZON COMMUNICATIONS - NJ
 8000 HADLEY ROAD
 SOUTH PLAINFIELD, NJ 07080
 (908) 412-6169

WATER
 NEW JERSEY AMERICAN WATER
 1 WATER STREET
 CAMDEN, NJ 08102
 (866) 777-8426 (NJ OFFICE)
 1-800-272-1325 (CUSTOMER SERVICE)

SANITARY SEWER
 LINDEN ROSELLE SEWERAGE AUTHORITY
 5005 SOUTH WOOD AVE
 P.O. BOX 4118
 LINDEN, NJ 07036-8118
 (908) 862-7100

CABLE
 COMCAST CABLEVISION
 800 RAHWAY AVENUE
 UNION, NJ 07083
 (732) 602-7444

NATURAL GAS
 ELIZABETHTOWN GAS
 ATTN: GARY MARMO
 520 GREEN LANE
 UNION, NJ 07083
 (908) 662-8454

DELIVERY STATION
 1800 LOWER ROAD, LINDEN, NJ 07036
 progressive ae



This item has been electronically signed and sealed by Joshua Manion using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

ISSUANCE
 PLANNING AND ZONING
 03/17/2020

REVISIONS

NO.	DATE	DESCRIPTION

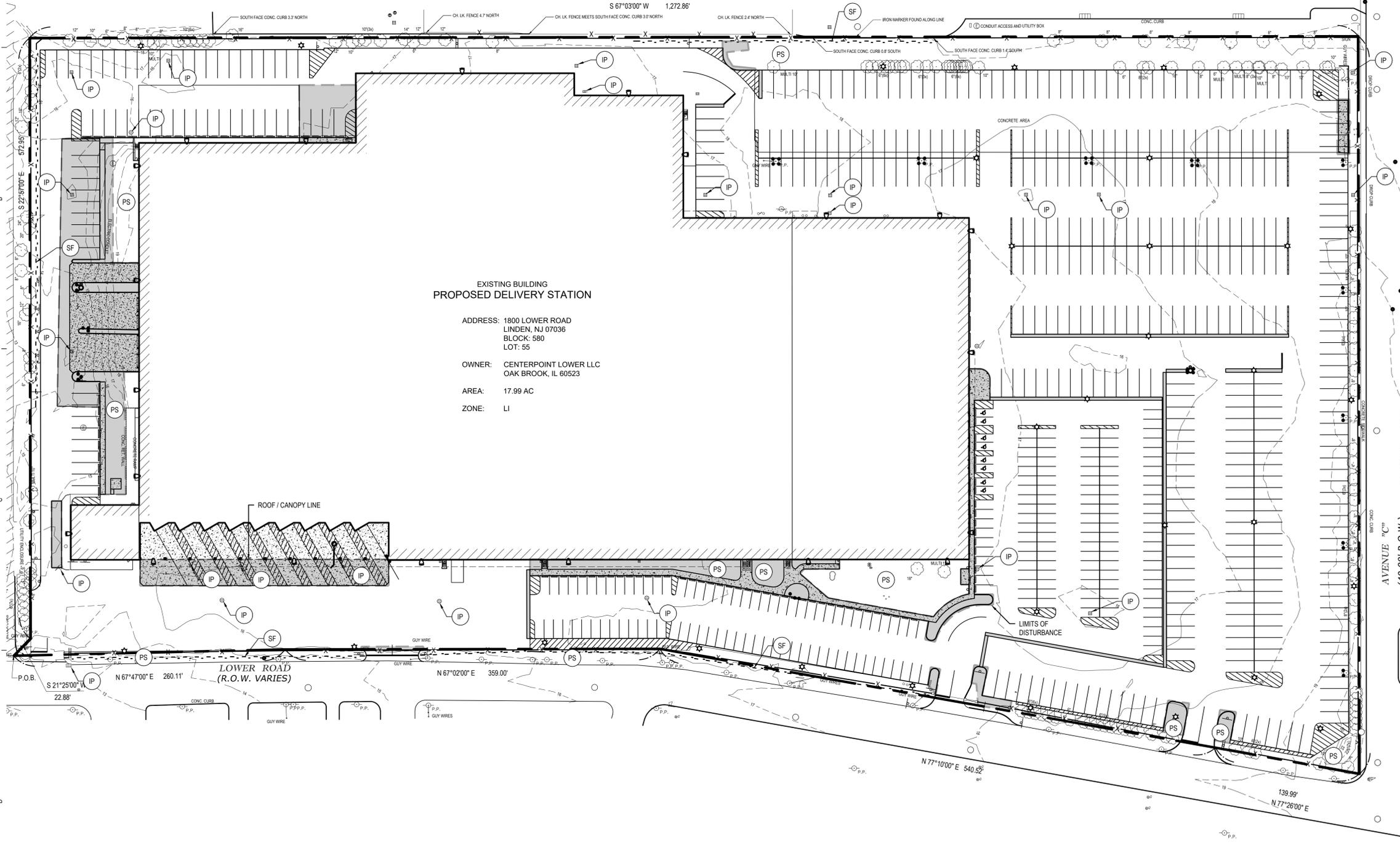
FILE NUMBER: 83460043
 PROJECT MANAGER: JRV
 PROFESSIONAL: JPM
 DRAWN BY: JRS
 CHECKED BY: JPM



2020/03/10 04:04 PM
 P:\040403\18114 MILE RD NE - COVER SHEET.dwg
 THIS DOCUMENT HAS BEEN PREPARED BY PROGRESSIVE AE AS AN INSTRUMENT OF SERVICE, AND PROGRESSIVE AE SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THEREIN.



CALL 811 NOTE:
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.



**EXISTING BUILDING
 PROPOSED DELIVERY STATION**

ADDRESS: 1800 LOWER ROAD
 LINDEN, NJ 07036
 BLOCK: 580
 LOT: 55

OWNER: CENTERPOINT LOWER LLC
 OAK BROOK, IL 60523

AREA: 17.99 AC
 ZONE: LI

EROSION CONTROL NOTES

- INSTALL EROSION CONTROL MEASURES AT THE LIMITS OF EARTHWORK PRIOR TO THE START OF ANY EARTHWORK OPERATIONS. ALL OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED IN CONJUNCTION WITH THE CONSTRUCTION SCHEDULE AND SEQUENCE AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- MAINTAIN ALL EROSION CONTROL INSTALLATIONS DURING THE COURSE OF CONSTRUCTION. MAKE INSPECTIONS AFTER EACH STORM EVENT AND REPAIR OR REPLACE ANY DAMAGE. REMOVE ACCUMULATED SEDIMENT FROM SEDIMENT BASINS TO MAINTAIN EFFECTIVENESS OF EROSION CONTROL INSTALLATIONS. REPAIR ANY ERODED AREAS ON SLOPES OR NEAR SILT FENCE. REGRADE AND RESEED ANY TEMPORARY SEEDING AREAS AS NECESSARY TO PREVENT EROSION.
- THE EROSION CONTROL MEASURES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
- KEEP PUBLIC ROADWAYS CLEAR OF ACCUMULATED SEDIMENT. SEDIMENTS SHALL BE REMOVED IMMEDIATELY UPON ENTERING PUBLIC ROADWAYS AND SHALL BE RETURNED TO THE LIKELY POINT OF ORIGIN. SEDIMENTS SHALL NOT BE FLUSHED OR WASHED FROM THE AREA WITH WATER.
- SILTSACK MANUFACTURED BY CSI GEOTURF OR HANES GEO PRODUCTS OR APPROVED EQUAL SHALL BE USED FOR STORM INLET PROTECTION ITEM S58 (SEE SESC KEYING SYSTEM LEGEND).
- CONTRACTOR SHALL INSTALL AND MAINTAIN SILT FENCE AROUND ALL SUBSOIL SPOIL AND TOPSOIL STOCKPILE AREAS. ALL SOIL PILES SHALL BE SEEDING WITH APPROVED SEED MIXTURES AND BE LOCATED AWAY FROM ANY DOWNSLOPE STREET, DRIVEWAY, DITCH OR DRAINAGE WAY.
- REMOVE TEMPORARY CONTROL MEASURES AS FOLLOWS:
 PAVEMENT AREAS - MAINTAIN IN SERVICE UNTIL PREPARATION FOR PLACEMENT OF BITUMINOUS LEVELING COURSES
 LAWN AREAS - REMOVE AFTER LAWN IS WELL ESTABLISHED AND ROOTED
- SILT FENCE SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND AFTER EVERY RAIN. SEDIMENT SHALL BE REMOVED IF DEPOSITS REACH HALF THE FENCE HEIGHT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL TEMPORARY SOIL EROSION. OWNER WILL BE RESPONSIBLE FOR PERMANENT SOIL EROSION CONTROL.
- DUST CONTROL SHALL BE PROVIDED BY MEANS OF WATER DISTRIBUTION ON A REGULAR BASIS OVER AREAS THAT COULD POTENTIALLY PRODUCE DUST CONDITIONS.
- CONTRACTOR TO PROVIDE NAME AND NUMBER OF CERTIFIED STORMWATER OPERATOR ASSIGNED TO THIS PROJECT SITE.

S-E-S-C KEYING SYSTEM

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
PS	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
SF	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
IP	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.

LIMITS OF DISTURBANCE

TOTAL DISTURBED AREA = 0.92 ACRES



This item has been electronically signed and sealed by Joshua Manion using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

If this document is sealed and signed in a digital or electronic format and is received from someone other than the sealing professional identified in the document, you must contact the sealing professional in writing to validate authenticity of the document. The sealing professional disclaims this seal and signature and shall not be liable for any liability associated with it where the authenticity of any digital or electronic seal or signature has not been validated in this manner.

ISSUANCE
 PLANNING AND ZONING
 03/17/2020

REVISIONS
 NO. DATE DESCRIPTION

FILE NUMBER: 83460043
 PROJECT MANAGER: JRV
 PROFESSIONAL: JPM
 DRAWN BY: JRS
 CHECKED BY: JPM

EROSION CONTROL PLAN
 1" = 50'



CALL 811 NOTE:
CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

GENERAL NOTES

- VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
- REFER TO DRAWING C0.0 FOR BENCHMARK INFORMATION.
- ALL MATERIAL, SPECIFICATIONS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE MUNICIPAL AGENCIES.
- RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
- CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
- EXISTING TREES TO REMAIN - CONTRACTOR TO PROTECT ROOT SYSTEMS BY MAINTAINING TREE PROTECTION FENCE AT TREE DRIPLINE TO ELIMINATE MATERIAL STORAGE, PARKING OR CONSTRUCTION TRAFFIC WITHIN THE TREE DRIPLINE.
- PROPOSED WORK IS OUTSIDE THE KINGS CREEK 100 YEAR FLOODPLAIN PER FEMA FIRM PANEL 0044F

ZONING NOTES

ZONE DISTRICT: LI
ADJACENT ZONING: LI, HI
PARCEL SIZE: 17.99 ACRES

PARKING REQUIRED: 311 SPACES

WAREHOUSES, STORAGE BUILDINGS, DISTRIBUTION CENTERS, ONE (1) PARKING SPACE FOR EVERY TWO (2) EMPLOYEES AT THE PEAK HOUR OF EMPLOYMENT OR ONE (1) SPACE FOR EVERY ONE THOUSAND (1,000) SQUARE FEET OF BUILDING AREA, WHICHEVER THE GREATER, EXCEPT THAT THE PLANNING BOARD MAY WAIVE FIFTY (50%) PERCENT OF THE REQUIRED NUMBER OF SPACES PROVIDED A NOTATION IS PUT UPON THE SITE PLAN MAP STATING THAT AN AREA IS RESERVED FOR FUTURE PARKING.

1 UNIT X (311,000 SFT / 1,000 SFT) = 311 SPACES

PARKING PROVIDED:
ASSOCIATE PARKING (9'x18'): 198 SPACES
BARRIER FREE PARKING: 8 SPACES
DSP VAN PARKING: 450 SPACES

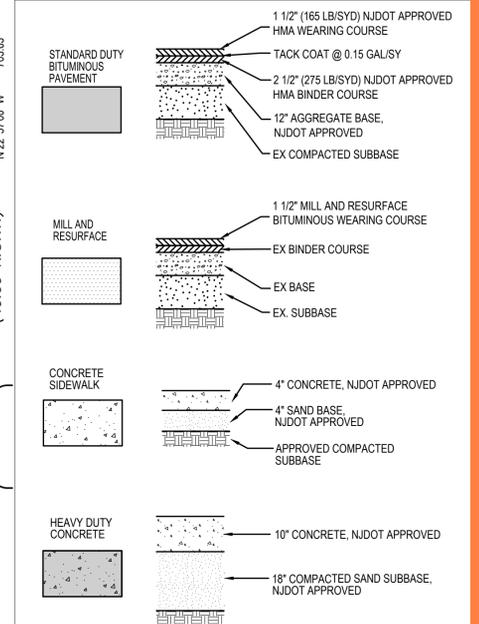
TOTAL SPACES PROVIDED: 656 SPACES

DISTURBED AREA: -2.75 ACRES
ADDED PAVEMENT: -0.35 ACRES
ADDED GREENSPACE: -0.27 ACRES
TOTAL INCREASED IMPERVIOUS: -0.08 ACRES

GENERAL SITE LAYOUT NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- CONTACT "NEW JERSEY ONE CALL" TOLL FREE AT 811 OR 1-800-272-1000 THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
- NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
- UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
- ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
- CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION. THIS IS TO INCLUDE BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC.
- ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.
- ALL PAVEMENT, CURB & GUTTER, SIDEWALK AND UTILITIES WITHIN PUBLIC RIGHT OF WAY SHALL MEET CITY OF LINDEN STANDARDS.
- PROPOSED FENCE SHALL MEET CITY OF LINDEN STANDARDS.

PAVEMENT LEGEND

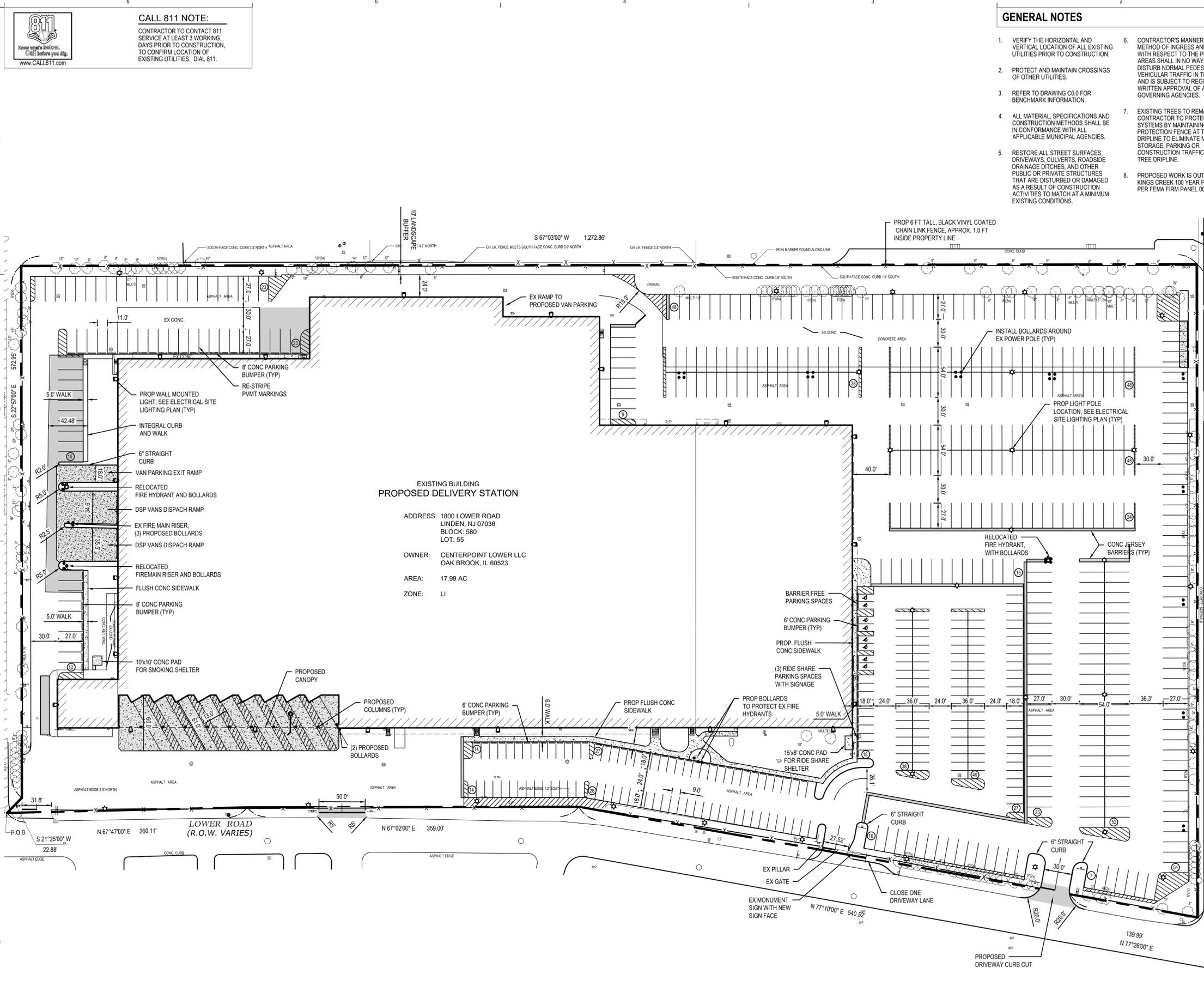


STORMWATER SUMMARY NOTES

NJDEP STORMWATER MANAGEMENT RULE APPLICABILITY THRESHOLD:
1 ACRE MINIMUM OF DISTURBANCE OR
0.25 ACRE OF IMPERVIOUS INCREASE

PROPOSED SITE CALCULATIONS:
DISTURBANCE AREA: 0.92 AC
IMPERVIOUS INCREASE: 0.14 AC

*NOTE: THRESHOLDS FOR STORMWATER MANAGEMENT IMPROVEMENTS ARE NOT MET. NO STORMWATER SYSTEM MODIFICATIONS OR IMPROVEMENTS ARE PROPOSED.



SITE LAYOUT PLAN
1" = 50'

DELIVERY STATION
 1800 LOWER ROAD, LINDEN, NJ 07036
 www.progressiveae.com
 616.381.2684
 MA 05225



This item has been electronically signed and sealed by Joshua Plaf Marion using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

If this document is sealed and signed in a digital or electronic format and is received from someone other than the sealing professional identified in the document, you must contact the sealing professional in writing to validate authenticity of the document. The sealing professional disclaims the seal and signature and shall not be liable for any liability associated with it where the authenticity of any digital or electronic seal or signature has not been validated in this manner.

ISSUANCE
PLANNING AND ZONING
03/17/2020

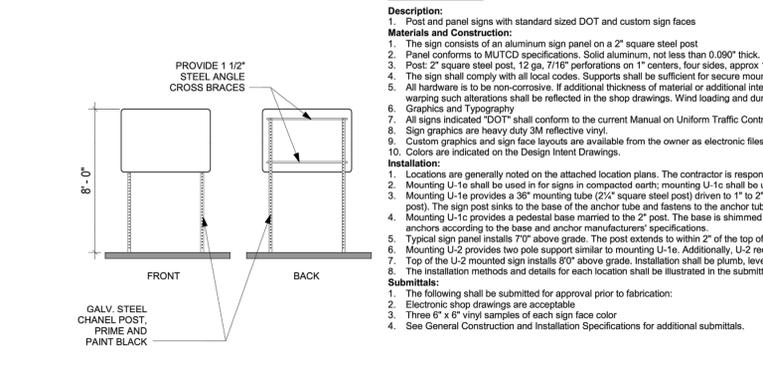
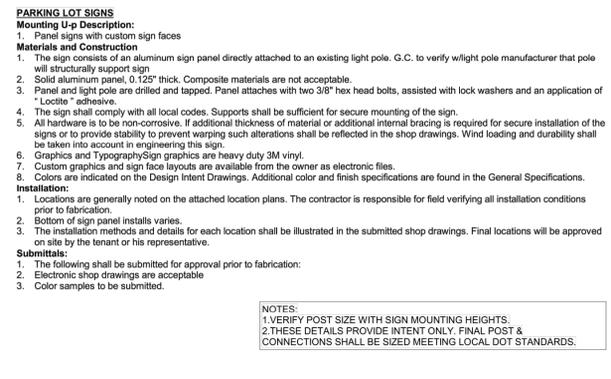
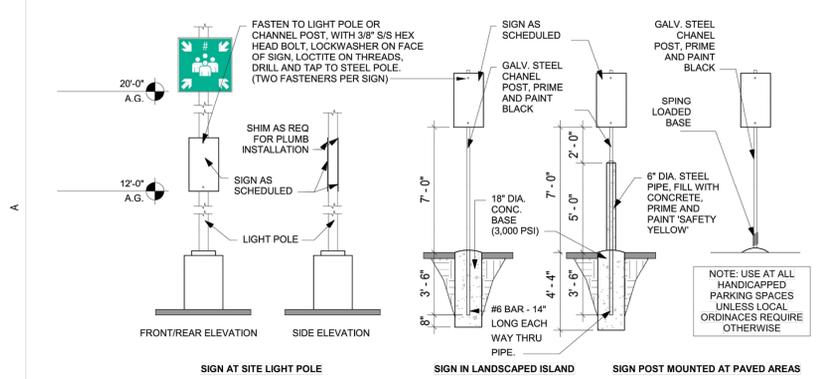
REVISIONS
NO. DATE DESCRIPTION

FILE NUMBER: 83460043
PROJECT MANAGER: JRV
PROFESSIONAL: JPM
DRAWN BY: JRS
CHECKED BY: JPM

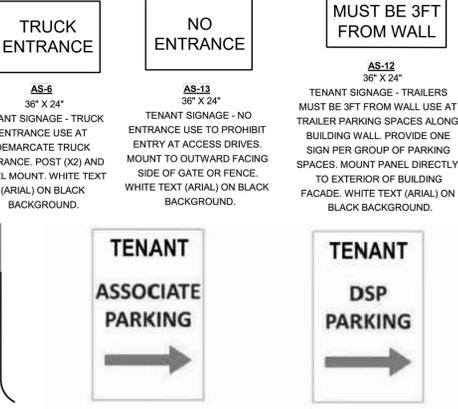
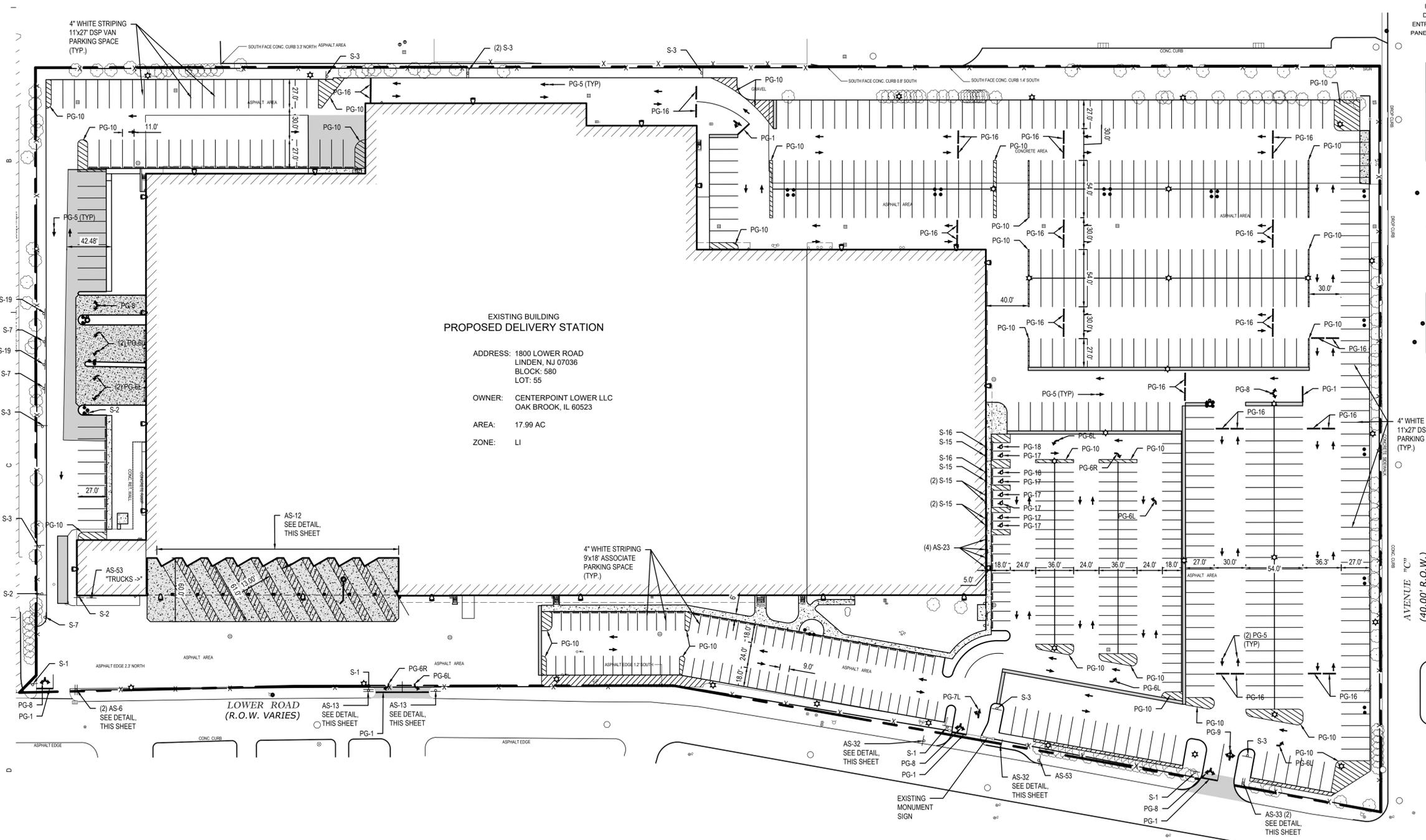
SITE LAYOUT PLAN
C2.1

3/17/2020 2:26:24 PM
 P:\040403\03\PC\BIM\10 - C2.1 - SITE LAYOUT.dwg borj

REFER TO SHEET C5.1 SITE SIGNAGE AND GRAPHICS DETAILS



1 SITE SIGN MOUNTING DETAILS
1/4" = 1'-0"



CUSTOM SIGNAGE COLORS

	Gloss Vinyl	Reflective Vinyl	Paint
C1 White	Scotchcal White 230-21	Scotchcal White 230-10	Gloss White Two part catalyst hardened acrylic enamel
C2 Black	Scotchcal Black 230-22 (Pantone Black C)	Scotchcal Black 230-45	
C3 Yellow	Oracal OPAQUE 100 GOLDEN YELLOW TRANSLUCENT 115 YELLOW ORANGE (Color to match Amazon branding guidelines. Amazon orange Pantone 107 U, Pantone 1375 C)		
C4 Gray	Scotchcal Medium Gray 230-31		Satin Finish Two part catalyst hardened acrylic enamel
C5 Red	Scotchcal Red 230-33 (Pantone 485C3X)	Scotchcal Red 230-72	
C6 Blue	Scotchcal Cobalt Blue (Pantone 288C)	Scotchcal Blue 230-75	
C7 Blue	Scotchcal Prisma Blue (Pantone 2892C)RAL 5012		

VINYL GRAPHICS GENERAL NOTES

DOOR SIGNS:
SEE DOOR SIGN PLACEMENT DETAIL ON THIS SHEET FOR MOUNTING HEIGHTS.

SPECIFICATIONS:
SEE WORLDWIDE REAL ESTATE SIGNAGE STANDARDS (REV. 10) FOR COLOR GENERAL NOTES AND ADDITIONAL SIGNAGE COLORS.

DESCRIPTION:
CUSTOM CUT VINYL GRAPHICS, ATTACHED TO FIRST SURFACE OF EXTERIOR GLASS.

GRAPHICS AND TYPOGRAPHY:
SIGN GRAPHICS ARE HEAVY DUTY 3M VINYL LOGO IS A HIGH RESOLUTION DIGITAL PRINT ON PERMANENT ADHESIVE PRESSURE SENSITIVE VINYL SUBSTRATE WITH LUSTER OVER LAMINATE. CUT TO SHAPE FROM VECTOR FILE. COPY IS MATTIE WHITE VINYL.

INSTALLATION:
LOCATIONS ARE GENERALLY NOTED ON THE ATTACHED LOCATION PLANS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL INSTALLATION CONDITIONS PRIOR TO FABRICATION. THE INSTALLATION METHODS AND DETAILS FOR EACH LOCATION SHALL BE ILLUSTRATED IN THE SUBMITTED SHOP DRAWINGS. FINAL LOCATION WILL BE APPROVED ON SITE BY THE TENANT REPRESENTATIVE.

SUBMITTALS:
THE FOLLOWING SHALL BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION - (3) SETS OF SHOP DRAWINGS AND (3) 6" X 6" VINYL SAMPLES OF EACH SIGN FACE COLOR. SEE GENERAL CONSTRUCTION AND INSTALLATION SPECIFICATIONS FOR ADDITIONAL SUBMITTALS.

SIGNAGE GENERAL NOTES

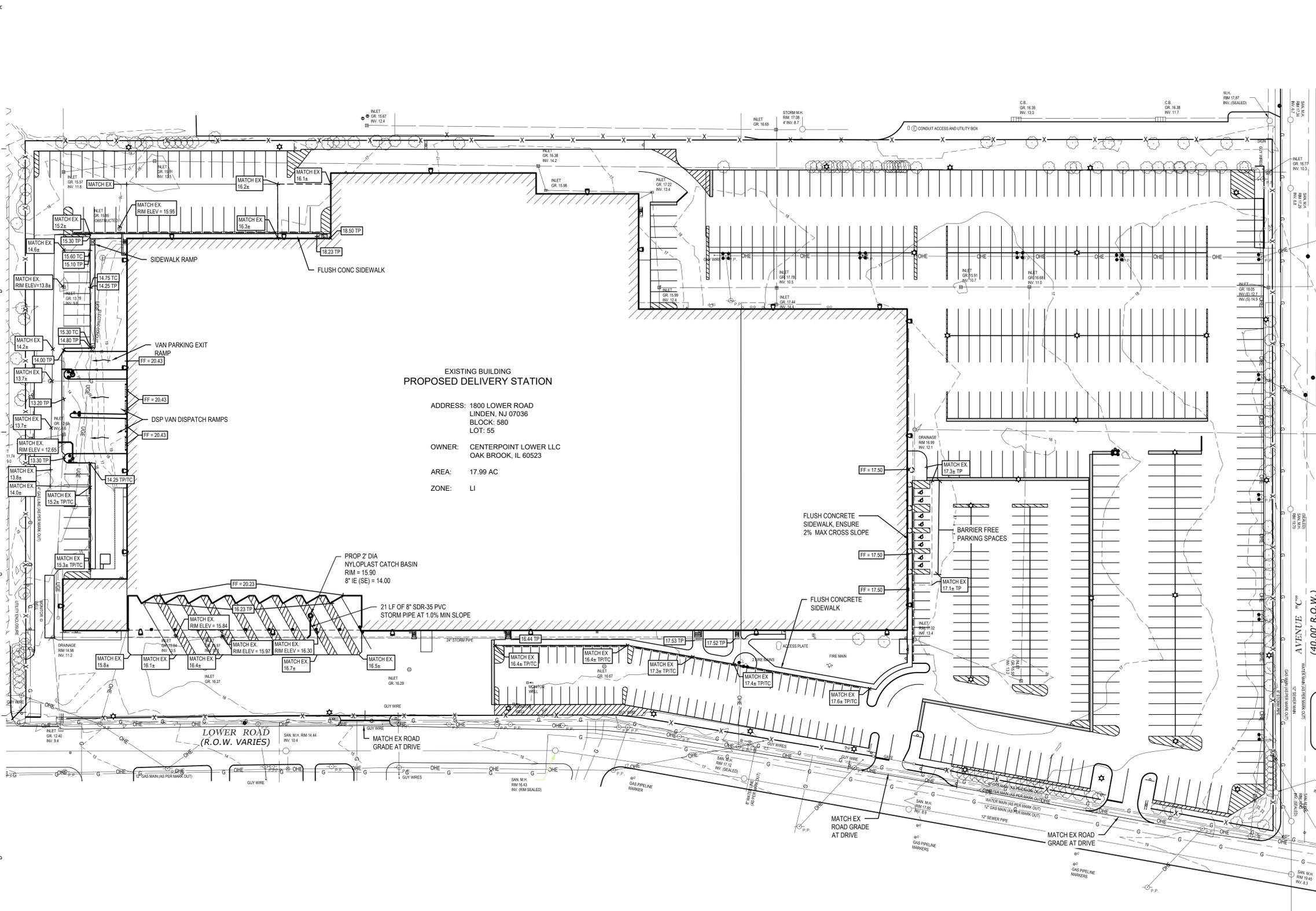
- FINAL QUANTITIES SHALL BE COORDINATED AND VERIFIED IN FIELD.
- ADDITIONAL SIGNAGE NOT SHOWN ON GRAPHICS PLAN MAY BE REQUIRED PER LOCAL CODE AND/OR AHJ. SUB-CONTRACTOR SHALL COORDINATE WITH LOCAL AHJ AND PROVIDE AS REQUIRED.
- MOUNT SIGNAGE ACCORDING TO LOCAL CODES.
- ALL PERMANENT SIGNAGE TO ACCESSIBLE AREAS TO HAVE RAISED BRAILLE CHARACTERS PER ANSI 117.1-2003
- TYPICAL SIGN FONT IS SET IN AERIAL.
- SEE DOOR SCHEDULE FOR DOOR SIGNAGE REQUIRED TEXT.

2 SITE SIGNAGE AND PAVEMENT MARKINGS
1" = 50'

progressive ae
DELIVERY STATION
 1800 LOWER ROAD, LINDEN, NJ 07036
 STATE OF NEW JERSEY
 JOSHUA MANION
 246E05510900
 PROFESSIONAL ENGINEER
 This item has been electronically signed and sealed by Joshua Pfau Manion using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.
 If this document is sealed and signed in a digital or electronic format and is received from someone other than the sealing professional identified in the document, you must contact the sealing professional in writing to validate authenticity of the document. The sealing professional disclaims the seal and signature and shall not be liable for any liability associated with it where the authenticity of any digital or electronic seal or signature has not been validated in this manner.
ISSUANCE
 PLANNING AND ZONING
 03/17/2020
REVISIONS
 NO. DATE DESCRIPTION
 FILE NUMBER 83460043
 PROJECT MANAGER JRV
 PROFESSIONAL JPM
 DRAWN BY JRS
 CHECKED BY JPM
SITE SIGNAGE AND PAVEMENT MARKINGS
C2.2



CALL 811 NOTE:
CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.



**EXISTING BUILDING
PROPOSED DELIVERY STATION**

ADDRESS: 1800 LOWER ROAD
LINDEN, NJ 07036
BLOCK: 580
LOT: 55

OWNER: CENTERPOINT LOWER LLC
OAK BROOK, IL 60523

AREA: 17.99 AC
ZONE: LI

SITE GRADING AND DRAINAGE PLAN
1" = 50'

BARRIER FREE NOTES

1. BARRIER FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
2. 2% MAXIMUM CROSS SLOPE ON ACCESSIBLE ROUTE(S)
3. 5% MAXIMUM LONGITUDINAL SLOPE (DIRECTION OF TRAVEL) UNLESS AT BARRIER FREE RAMP
4. 2% MAXIMUM SLOPE LONGITUDINAL AND TRANSVERSE SLOPES AT BARRIER FREE PARKING SPACES AND ASSOCIATED ACCESS AISLES
5. ACCESSIBLE ENTRIES - 2% MAXIMUM SLOPE IN ANY DIRECTION FOR THE FIRST 5' FROM ENTRY DOOR
6. CONTRACTOR TO CONTACT ENGINEER PRIOR TO PAVING IF BARRIER FREE SLOPES DO NOT COMPLY OR FOR CLARIFICATION OF ANY DISCREPANCIES.

EARTHWORK & GRADING NOTES

1. EARTHWORK AND PAVEMENT CONSTRUCTION ARE TO BE PERFORMED IN ACCORDANCE WITH THE NJDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
2. THE SUBGRADE SHALL BE THOROUGHLY PROOFROLLED USING THE EQUIVALENT OF A FULLY LOADED TANDEM AXLE TRUCK HAVING A MINIMUM AXLE WEIGHT OF 10 TONS. SOFT OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REMOVED AND REPLACED WITH ENGINEERED FILL.
3. PROOFROLLING SHALL BE PERFORMED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER.
4. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.
5. GRADE THE AGGREGATE BASE MATERIAL TO PROVIDE POSITIVE DRAINAGE AT A MINIMUM OF 1.5 PERCENT.
6. THE AGGREGATE BASE AND SUBBASE SHALL EXTEND 12 INCHES BEYOND THE PAVED EDGE.
7. EXISTING SOIL ON SITE MUST BE EVALUATED BY A GEOTECHNICAL ENGINEER FOR USE AS FILL. ANY IMPORTED SOILS USED FOR ENGINEERED FILL SHALL BE EVALUATED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
8. ENGINEERED FILL LOCATED WITHIN PAVEMENT AND BUILDING AREAS SHALL BE PLACED IN 8 INCH MAXIMUM LOOSE THICKNESS AND MOISTURE CONDITIONED TO WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACT TO MINIMUM OF 95 PERCENT OF THE MAXIMUM DENSITY PER ASTM D-1557, MODIFIED PROCTOR METHOD
9. ALL FILL OPERATIONS SHALL BE OBSERVED BY A QUALIFIED SOIL TECHNICIAN. A MINIMUM OF ONE COMPACTION TEST SHALL BE CONDUCTED PER 2,500 SFT AREA AT EACH LIFT. WITHIN TRENCH EXCAVATIONS, ONE TEST SHALL BE CONDUCTED FOR EACH 100 LINEAR FEET PER LIFT.
10. SIDE SLOPES SHALL NOT EXCEED 1 VERTICAL OVER 3 HORIZONTAL SLOPE UNLESS SHOWN OTHERWISE.
11. PARKING LOT CURBS SHALL BE BUILT WITH REVERSE SLOPE ON THE DOWNHILL SIDE OF THE ISLAND TO ASSURE POSITIVE STORM WATER RUNOFF TO CATCH BASINS.
12. UNLESS SHOWN OTHERWISE, FINISH GRADES OF LAWN/LANDSCAPE ADJACENT TO BUILDING WALLS SHALL BE 6" BELOW FINISH FLOOR ELEVATION.
13. PLACE 6" MINIMUM TOPSOIL IN ALL LANDSCAPE AREAS TO BE SEED. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
14. FOR ALL CURB ISLANDS, CENTER OF ISLANDS TO BE A MINIMUM OF 6" HIGHER THAN TOP-OF-CURB.
15. ADJUST ALL CATCH BASIN AND MANHOLE RIMS TO BE FLUSH WITH PROPOSED SURFACE OF PAVEMENT.

GRADING LEGEND

—	FLOW ARROW
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
GR	GROUND
GP	GUTTER PAN
FF	FINISH FLOOR ELEVATION
EX	EXISTING ELEVATION
HP	HIGH POINT
LP	LOW POINT
L	LANDING
R	RAMP
○	5' TURNING RADIUS, 2% MAX SLOPE EACH DIRECTION

NOTE: SITE GRADING TO MATCH EXISTING DRAINAGE PATTERNS UNLESS OTHERWISE NOTED.

progressive ae

DELIVERY STATION



This item has been electronically signed and sealed by Joshua Plaf Marion using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

If this document is sealed and signed in a digital or electronic format and is received from someone other than the sealing professional identified in this document, you must contact the sealing professional in writing to validate authenticity of the document. The sealing professional disclaims the seal and signature and shall not be liable for any liability associated with it where the authenticity of any digital or electronic seal or signature has not been validated in this manner.

ISSUANCE
PLANNING AND ZONING
03/17/2020

REVISIONS
NO. DATE DESCRIPTION

FILE NUMBER: 83460043
PROJECT MANAGER: JRV
PROFESSIONAL: JPM
DRAWN BY: JRS
CHECKED BY: JPM

SITE GRADING AND DRAINAGE PLAN
C3.0

18114 Mile Rd NE, Grand Rapids, MI 49525 (616) 381-2884 www.progressiveae.com

1800 LOWER ROAD, LINDEN, NJ 07036

3/17/2020 2:26:09 PM
P:\034033\TPC\BIM10-C3.0-SITE GRADING AND DRAINAGE.dwg - b041
THIS DOCUMENT HAS BEEN PREPARED BY PROGRESSIVE AE AS AN INSTRUMENT OF SERVICE, AND PROGRESSIVE AE SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THEREIN.



CALL 811 NOTE:
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**EXISTING BUILDING
 PROPOSED DELIVERY STATION**

ADDRESS: 1800 LOWER ROAD
 LINDEN, NJ 07036
 BLOCK: 580
 LOT: 55

OWNER: CENTERPOINT LOWER LLC
 OAK BROOK, IL 60523

AREA: 17.99 AC

ZONE: LI

SITE UTILITY PLAN
 1" = 50'

UTILITY NOTES

1. FIELD LOCATE EX WATERMAIN LOCATION ON SITE PRIOR TO START OF CONSTRUCTION. NOTIFY ENGINEER OF ANY UTILITY CONFLICTS.
2. INSTALL WATERMAIN WITH MINIMUM 5.0' OF COVER TO TOP OF PIPE.
3. PROVIDE A MINIMUM 18" OF VERTICAL SEPARATION AND 10' OF HORIZONTAL SEPARATION BETWEEN WATERMAIN AND ALL SANITARY AND STORM SEWERS.
4. PROVIDE APPROVED MECHANICAL RESTRAINED JOINTS AT ALL WATERMAIN BENDS. FOR A MINIMUM DISTANCE FROM THE FITTING AS SHOWN IN THE PIPE RESTRAINT TABLE.
5. WATERMAIN MATERIAL AND INSTALLATION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF LINDEN SPECIFICATIONS.
6. 4" AND LARGER WATERMAIN PIPE SHALL BE DUCTILE IRON PIPE.
7. 2" AND SMALLER DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER PIPE.

progressive ae

DELIVERY STATION

1800 LOWER ROAD, LINDEN, NJ 07036



This item has been electronically signed and sealed by Joshua Plaf Marion using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

If this document is sealed and signed in a digital or electronic format and is received from someone other than the sealing professional identified in the document, you must contact the sealing professional in writing to validate authenticity of the document. The sealing professional disclaims the seal and signature and shall not be liable for any liability associated with it where the authenticity of any digital or electronic seal or signature has not been validated in this manner.

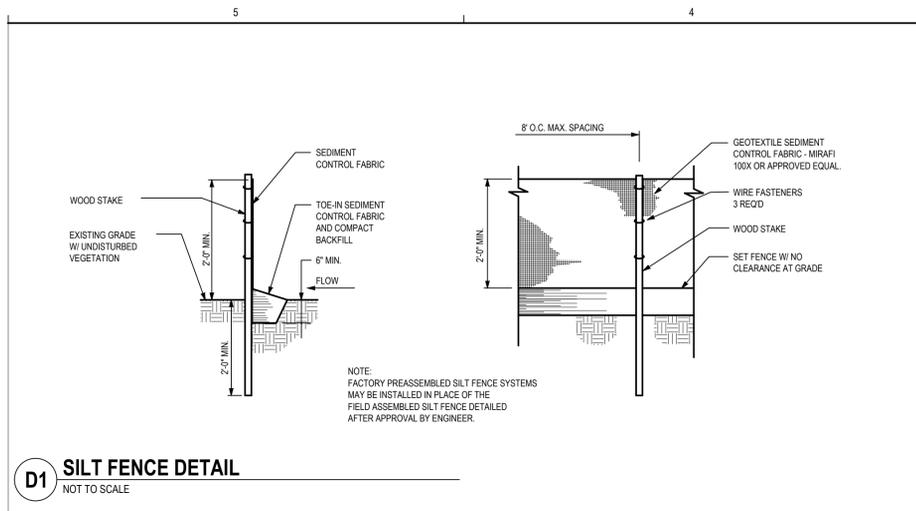
ISSUANCE
 PLANNING AND ZONING
 03/17/2020

REVISIONS
 NO. DATE DESCRIPTION

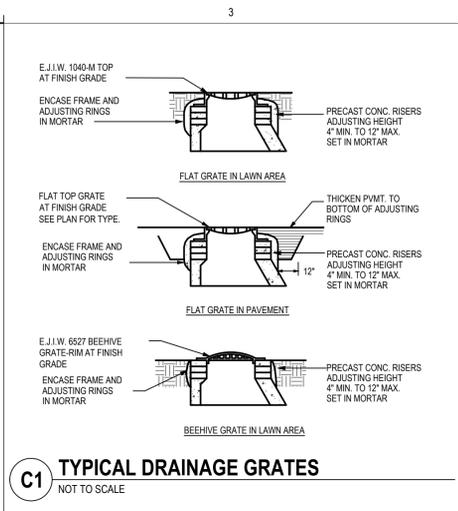
FILE NUMBER: 83460043
 PROJECT MANAGER: JRV
 PROFESSIONAL: JPM
 DRAWN BY: JRS
 CHECKED BY: JPM

SITE UTILITY PLAN
C4.0

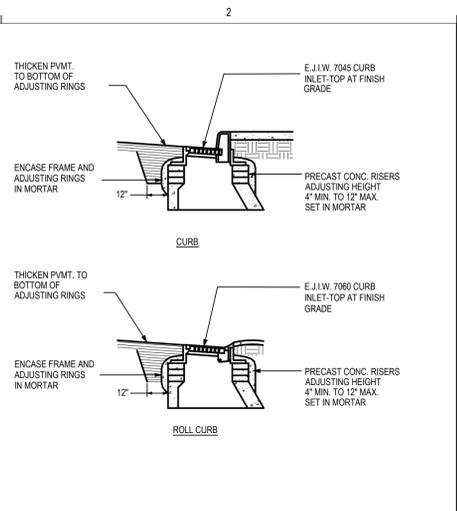
3/17/2020 2:26:03 PM
 P:\040403\10PC2\BIM10-C4.0-SITE UTILITY.dwg sheet
 THIS DOCUMENT HAS BEEN PREPARED BY PROGRESSIVE AE AS AN INSTRUMENT OF SERVICE, AND PROGRESSIVE AE SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THEREIN.



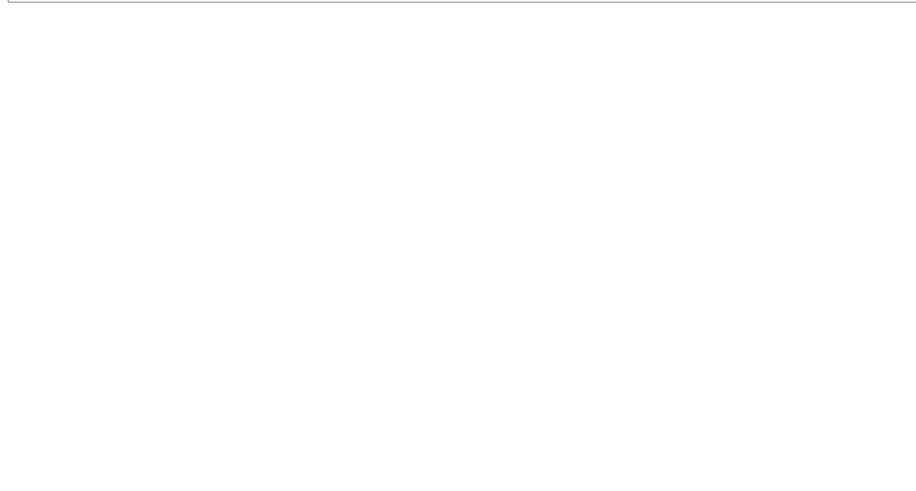
D1 SILT FENCE DETAIL NOT TO SCALE



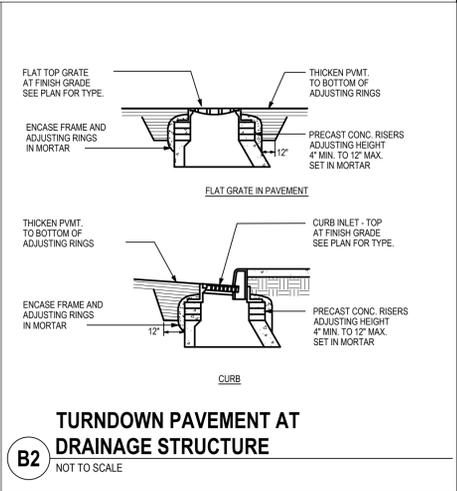
C1 TYPICAL DRAINAGE GRATES NOT TO SCALE



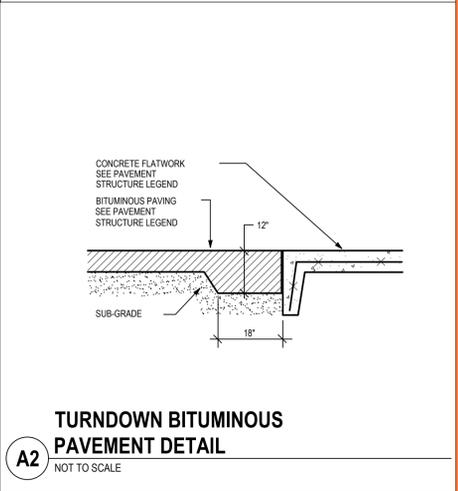
A1 TYPICAL CONCRETE CURB DETAIL NOT TO SCALE



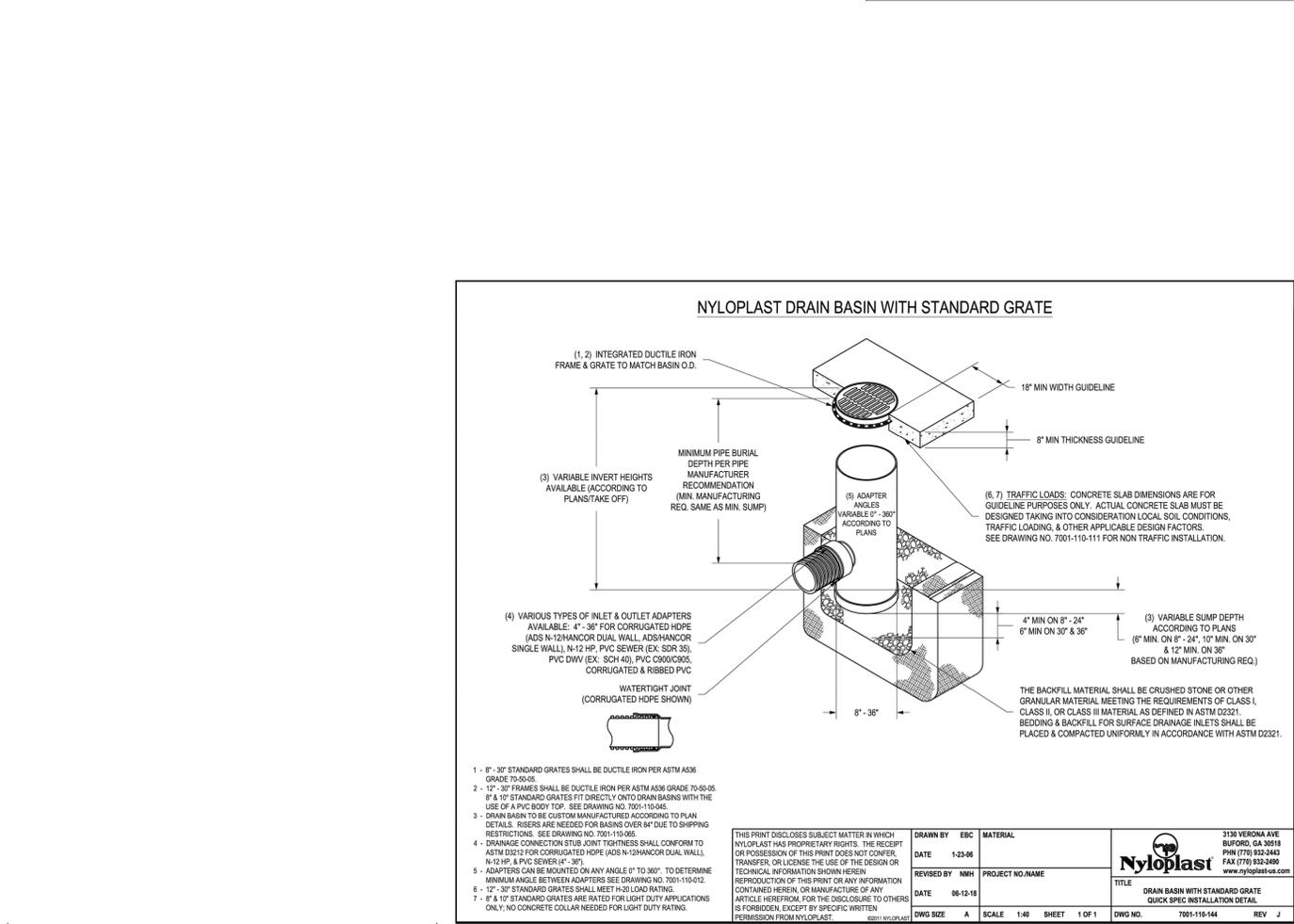
C2 GUARD POST PLACEMENT DETAIL NOT TO SCALE



B2 TURNDOWN PAVEMENT AT DRAINAGE STRUCTURE NOT TO SCALE

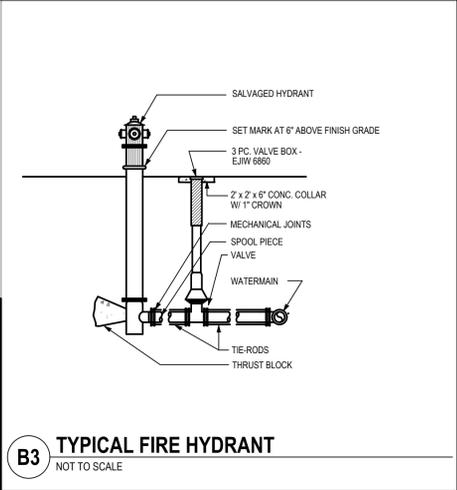


A2 TURNDOWN BITUMINOUS PAVEMENT DETAIL NOT TO SCALE

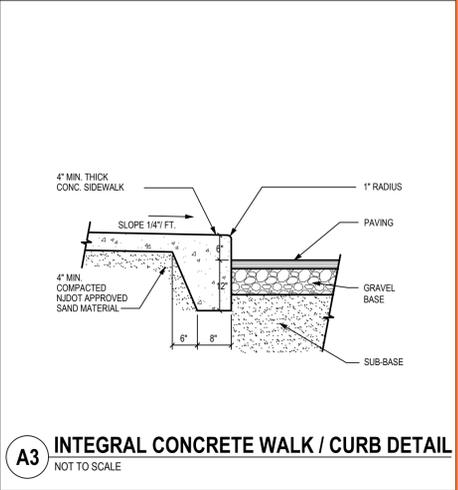


- 1 - 8" - 30" STANDARD GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE TO-5005.
- 2 - 12" - 30" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE TO-5005. 8" & 10" STANDARD GRATES FIT DIRECTLY ONTO DRAIN BASINS WITH THE USE OF A PVC BODY TOP. SEE DRAWING NO. 7001-110-040.
- 3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 8" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-055.
- 4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12HANCOR DUAL WALL), 1/4" HP. & PVC SEWER (EX. SDR 35).
- 5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- 6 - 12" - 30" STANDARD GRATES SHALL MEET F-201 LOAD RATING.
- 7 - 8" & 10" STANDARD GRATES ARE RATED FOR LIGHT DUTY APPLICATIONS ONLY. NO CONCRETE COLLAR NEEDED FOR LIGHT DUTY RATING.

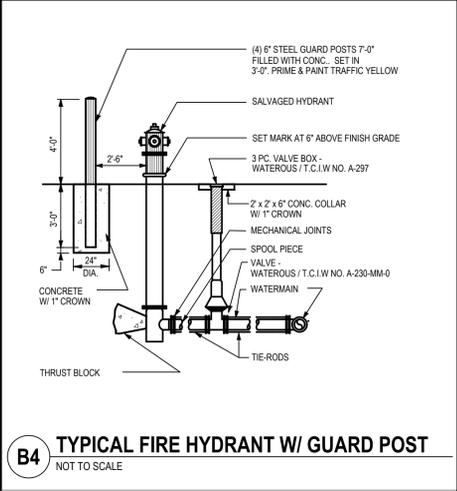
<p>THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.</p>	<p>3158 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2400 www.nyloplast-us.com</p>
<p>DRAWN BY EBC DATE 1-23-06</p>	<p>MATERIAL PROJECT NO. NAME DATE 06-12-18</p>
<p>DWG SIZE A SCALE 1:48 SHEET 1 OF 1</p>	<p>TITLE DRAIN BASIN WITH STANDARD GRATE QUICK SPEC INSTALLATION DETAIL DWG NO. 7001-110-144 REV J</p>



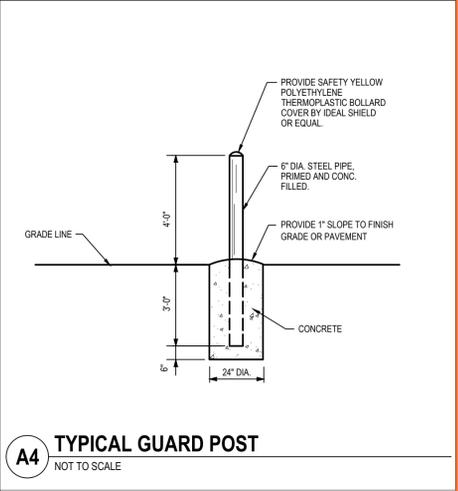
B3 TYPICAL FIRE HYDRANT NOT TO SCALE



A3 INTEGRAL CONCRETE WALK / CURB DETAIL NOT TO SCALE



B4 TYPICAL FIRE HYDRANT W/ GUARD POST NOT TO SCALE



A4 TYPICAL GUARD POST NOT TO SCALE

DELIVERY STATION
 1800 LOWER ROAD, LINDEN, NJ 07036
 1811 4 Mile Rd NE, Grand Rapids, MI 49525 (616) 381-2854 www.progressiveae.com

This item has been electronically signed and sealed by Joshua Marion using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

If this document is sealed and signed in a digital or electronic format and is received from someone other than the sealing professional identified in the document, you must contact the sealing professional in writing to validate authenticity of the document. The sealing professional disclaims the seal and signature and shall not be liable for any liability associated with it where the authenticity of any digital or electronic seal or signature has not been validated in this manner.

ISSUANCE	
PLANNING AND ZONING	03/17/2020
REVISIONS	
NO.	DATE DESCRIPTION
FILE NUMBER	83460043
PROJECT MANAGER	JRV
PROFESSIONAL	JPM
DRAWN BY	JRS
CHECKED BY	JPM

C5.0



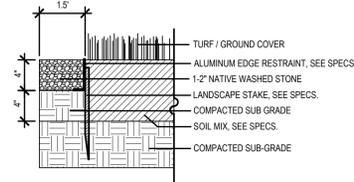
CALL 811 NOTE:

CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

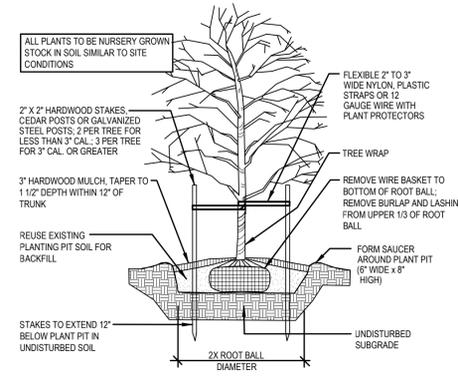
PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	REMARKS
MV	11	Malus x zumi 'Calocarpa' / Redbud Zumi Crabapple	B & B	2-1/2"	6' BRANCH HT. MIN. Matched.
NS	7	Nyssa sylvatica / Sour Gum	B & B	2-1/2"	7-8' BRANCH HT. MIN.
TG	10	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B & B	2-1/2"	7-8' BRANCH HT. MIN.
ZG	12	Zelkova serrata 'Green Vase' / Green Vase Sawleaf Zelkova	B & B	2-1/2"	6' BRANCH HT MIN. MATCHED.

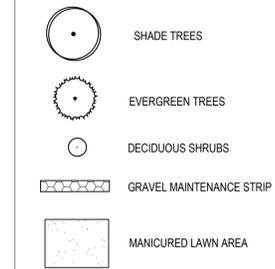
2 MAINTENANCE STRIP DETAIL
NOT TO SCALE



1 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



LANDSCAPE LEGEND



NOTE:
1. LAWN SEED MIX: 5-7lbs. PER 1,000FT²
45% ANNUAL RYEGRASS
30% CREEPING RED FESCUE
20% PERENNIAL RYEGRASS
5% TURF TYPE TALL FESCUE
* LAWN SEEDING BASED ON NORTHAMPTON COUNTY QUICK GREEN LAWN SEED MIXTURE 610-837-6311. *OR APPROVED EQUAL.

GENERAL LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING PROJECT CONDITIONS AND VERIFYING PLANT QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF PLAN DISCREPANCIES.
- CONTRACTOR SHALL COMPLY WITH THE BOROUGH OF CARTERET, NEW JERSEY CODE OF ORDINANCES INCLUDING BUT NOT LIMITED TO PROCEDURES, INSPECTIONS, AND MAINTENANCE.
- PLANT LOCATIONS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT AND OWNER. CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING ALL EXISTING UNDERGROUND UTILITIES. CONTACT THE APPROPRIATE UTILITY COMPANY FOR FIELD STAKING ALL LINES.
- ALL AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED UNLESS SHOWN OTHERWISE IN PLANS. SEE SPECIFICATIONS.
- CONTRACTOR TO CONTACT MISS DIG AT PHONE NUMBER 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION TO CONFIRM LOCATION OF EXISTING UTILITIES.
- NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUB-GRADE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- LANDSCAPE BEDS TO RECEIVE 2" OF HARDWOOD MULCH. TREE SAUCERS TO RECEIVE 3" OF HARDWOOD MULCH.
- ALL LANDSCAPE BEDS TO HAVE ALUMINUM EDGING. (SEE SPECIFICATIONS)
- TREES AND SHRUBS SHALL BE PLANTED APPROXIMATELY 2" ABOVE GRADE (SEE SPECIFICATIONS AND DETAILS).
- TREES AND SHRUBS WITH CIRCLING, GIRDLING, OR CONTAINER BOUND ROOTS SHALL NOT BE ACCEPTED FOR PLANTING.
- TREES TO BE PLANTED A MINIMUM OF 6' FROM PAVEMENT EDGES UNLESS OTHERWISE SHOWN.
- PLANTING MIXTURE OF LANDSCAPED BEDS TO BE 4" DEPTH OF TOPSOIL UNLESS OTHERWISE NOTED. TOPSOIL AND MULCHES TO BE FREE OF NOXIOUS WEEDS AND DISEASED MATERIALS.
- CONTRACTOR SHALL PROVIDE SPECIFIED SHRUBS, GROUND COVERS, AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
- NOTIFY LANDSCAPE ARCHITECT AND OWNER (3 DAYS MIN. NOTICE) TO INSPECT AND TAG PLANT MATERIAL IN THE NURSERY PRIOR TO JOBSITE DELIVERY AND INSTALLATION.

ZONING NOTES

ZONE DISTRICT: LI - LIGHT INDUSTRIAL
ADJACENT ZONING: LI - LIGHT INDUSTRIAL

LANDSCAPE BUFFER SCREENING OR FENCE REQUIRED FOR OFF-STREET PARKING AREAS ADJACENT TO ROAD

1 REQUIRED SHADE TREE FOR EVERY 50' OF NEW PEDESTRIAN WALKWAYS
PROPOSED NEW WALKWAY: 973.5 LF
REQUIRED SHADE TREES: 20 TREES

1 SHADE TREE FOR EVERY 50' OF STREET FRONTAGE
FRONTAGE WITHOUT SHADE TREES: 773 LF
REQUIRED SHADE TREES: 17 TREES
* 11 FRONTAGE TREES RELOCATED DUE TO CONFLICTS WITH OVERHEAD ELECTRIC WIRES AND UNDERGROUND UTILITIES

1 SHADE TREE FOR EVERY 12 PARKING SPACES
* FOR PROPOSED NEW PAVEMENT AREAS ONLY, NOT FOR EXISTING PARKING
NEW PAVEMENT AREA PARKING: 20 SPACES
REQUIRED SHADE TREES: 2 TREES

TOTAL REQUIRED TREES: 39 TREES
TOTAL PROPOSED TREES 40 TREES

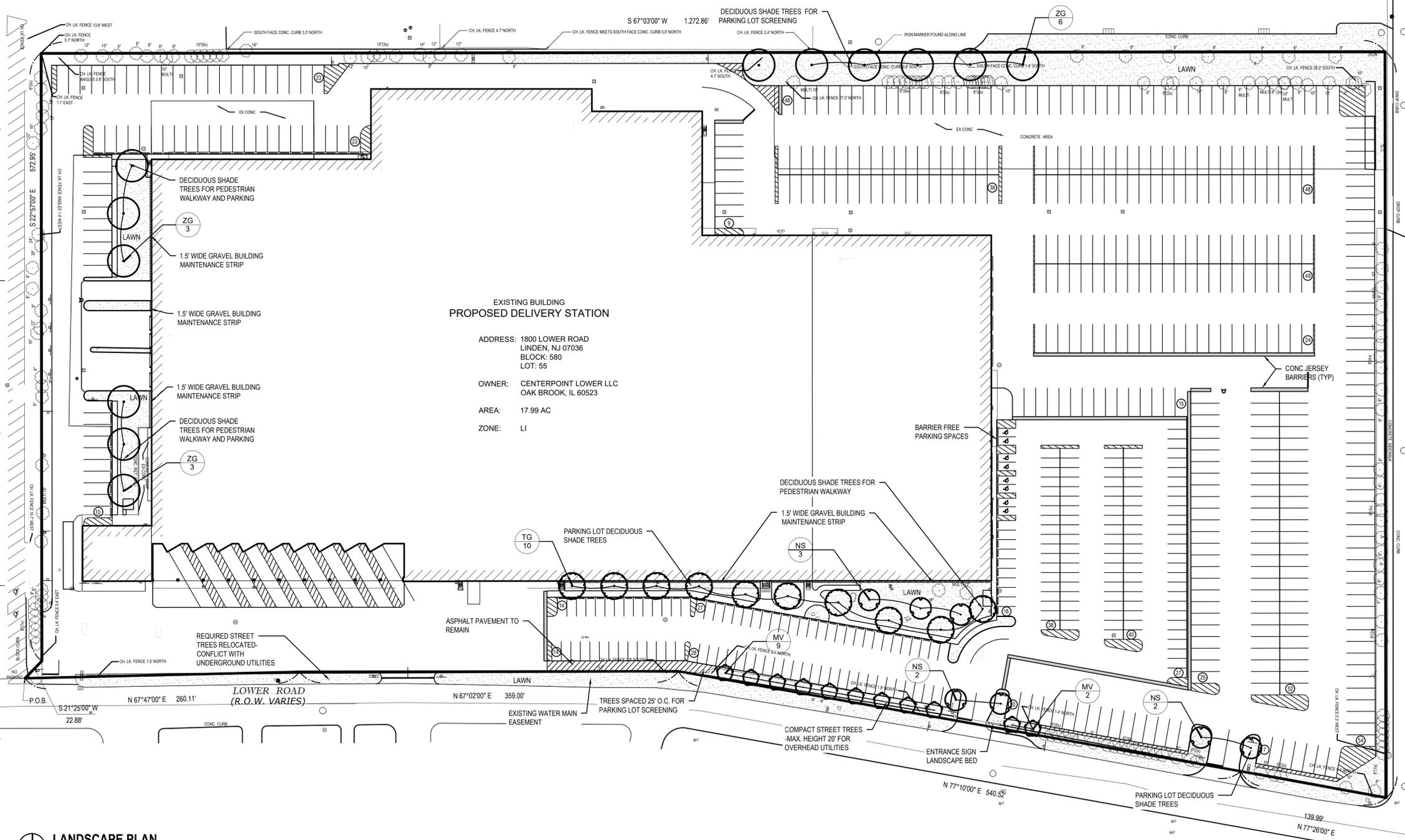
SOIL TYPE: URBAN LAND: SANDY TO SILTY LOAM, SOMEWHAT POORLY DRAINED. HIGH RUN OFF CLASS, 6-24" TO WATER TABLE, 18-36" TO FRAGIPAN

ISSUANCE
PLANNING AND ZONING
03/17/2020

REVISIONS

NO.	DATE	DESCRIPTION

FILE NUMBER: 83460043
PROJECT MANAGER: JRV
PROFESSIONAL: JRS
DRAWN BY: SRV
CHECKED BY:



LANDSCAPE PLAN
1"=50'

3/17/2020 4:26:07 PM
P:\0340301\0340301\0340301\110-LANDSCAPE PLAN.dwg
THIS DOCUMENT HAS BEEN PREPARED BY PROGRESSIVE AE AS AN INSTRUMENT OF SERVICE, AND PROGRESSIVE AE SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THEREIN.

DELIVERY STATION

1800 LOWER ROAD, LINDEN, NJ 07036

progressive ae

1811 4 Mile Rd NE, Grand Rapids, MI 49525 (616) 381-2854 www.progressiveae.com

LANDSCAPE PLAN
L1.1